

MANISTEE CITY PLANNING COMMISSION

Meeting of Thursday, April 1, 2010

7:00 p.m. - Council Chambers, City Hall, 70 Maple Street,
Manistee, Michigan

AGENDA

I Call to Order

II Roll Call

III Approval of Agenda

At this time the Planing Commission can take action to approve the April 1, 2010 Agenda.

IV Approval of Minutes

At this time Planning Commission can take action to approve the March 4, 2010 meeting Minutes.

V Public Hearing

Proposed Ordinance Amendment Z10-05: Changes Duplex from a Permitted Use to a Special Use in the R-2 Medium Density Residential District, R-3 High Density Residential District and WF Waterfront Zoning District:

Table 7-2 Uses Permitted by Right and Special Land Use Permit, DELETE Assembly Operation, Communication Tower and Warehouse Public as a SLU - Special Use in the W-F District; CHANGE Place of Public Assembly Small from a R - Use by Right to a SLU - Special Use in the W-F District; DELETE Shipping Facility as a R - Use by Right in the W-F District

Article 12: WF-Waterfront District

AMEND Section 1200 Purpose and Intent language

AMEND Section 1200 Permitted Use Table/List DELETE Places of Public Assembly Small and Shipping Facility

AMEND Section 1200 Special Use Table/List DELETE Assembly Operation, Communication Tower, and Warehouse Public; ADD Places of Public Assembly, Small

Section 1201 Uses Permitted by Right DELETE item I. Places of Public Assembly, Small and item M. Shipping Facility

Section 1202 Uses Permitted by Special Land Use Permit DELETE item D- Assembly Operation, item E. Communication Tower, item Y. Warehouse, Public; ADD item Places of Public Assembly, Small

AMEND Language in Section 1204 Waterfront Renaissance Zone Standards item A. Purpose and item C. Streamlined Permit Review

Article 18: Special Uses

AMEND Section 1880 Sports and Recreation Club, B. Regulations and Conditions item 2 -ADD requirement of Key Street Frontage in Waterfront District.

At this time the Chair shall open the hearing.
City Staff shall present the proposed amendment
The hearing will be opened for public comments
The hearing will be closed

VI New Business

Proposed Ordinance Amendment Z10-05

A Public Hearing was held earlier regarding a Proposed Ordinance Amendment that changes uses and amends language in the WF Waterfront Zoning District and Amends language in Section 1880 Sports and Recreation Club.

At this time the Planning Commission could take action to recommend to City Council the adoption of the proposed Zoning Amendment Z10-05.

City of Manistee, Marina Building, 480 River Street - Site Plan Review

The City of Manistee Marina Building at 480 River Street has structural issues that have resulted in the need to remove the existing structure, repair the footings and construct a new building. The Planning Commission approved a concept plan in 2008. Final plans are being submitted for approval.

At this time the Planning Commission could take action to approve the site plan for the City of Manistee Municipal Marina, 480 River Street.

VII Old Business

Signage

The Planning Commission began reviewing the Sign Ordinance for conflicts and clarification at their March 18, 2010 Worksession. The Commission will continue discussion.

VIII Public Comments and Communications

At this time the Chair will ask if there are any public comments.

IX Correspondence

At this time the Chair will ask if any correspondence has been received to be read into the record.

X Staff/Sub-Committee Reports

At this time the Chair will ask Staff for their report.

At this time the Chair will ask if any of the Sub-Committees have anything to report.

XI Members Discussion

At this time the Chair will ask members of the Planning Commission if they have any items they want to discuss.

XII Adjournment



PLANNING AND ZONING
COMMUNITY DEVELOPMENT
231.398.2805
FAX 231.723-1546
www.ci.manistee.mi.us

MEMORANDUM

TO: Planning Commissioners
FROM: Denise Blakeslee *DB*
DATE: March 23, 2010
RE: April 2, 2010 Planning Commission Meeting

Commissioners, we have the following items on the April 1, 2010 Planning Commission Agenda:

Proposed Ord. Z10-05 - This ordinance would change uses and amends language in the WF Waterfront Zoning District and Amends language in Section 1880 Sports and Recreation Club.

City of Manistee, Marina Building, 480 River Street - Site Plan Review - The Planning Commission approved a concept plan in 2008. Final plans are beings submitted for approval.

Under Old Business we will continue our discussion on Signage. We have made changes to Temporary Signs that reflects the current way in which they are regulated and use the same size and length of time restrictions as Filer Township.

Temporary signs advertising yard sales, items for sale or similar temporary activities, provided such signs are *erected on private property where authorized by the owner, are not illuminated, and temporarily with a total surface area do not to exceed four (4) eight (8) square feet in area, and are removed within three (3) seven (7) days of installation.*

Three areas still need discussion:

- Should Marquee signs be allowed in Residential Districts *Use type 3
- Should more signage be allowed in L-I, G-I *Use type 5
- Should there be a size limitation for projecting signs for properties on US 31 *Use type 3

I have compiled the proposed changes into a smaller document for discussion.

Meeting packets are enclosed. If you are unable to make the meeting please call or leave a message. See you Thursday.

djb

**AN ORDINANCE TO AMEND IN PART
AN ORDINANCE ENTITLED "MANISTEE CITY ZONING ORDINANCE"
WHICH WAS ADOPTED FEBRUARY 21, 2006,**

To Amend the Manistee City Zoning Ordinance

**Article 7: Districts, Dimensional Standards
Uses Table and Zoning Map**

Table 7-2 Uses Permitted by Right and Special Land Use Permit

- DELETE Assembly Operation as a Special Land Use in the Waterfront District**
- DELETE Communication Tower as a Special Land Use in the Waterfront District**
- CHANGE Place of Public Assembly - Small from a Use by Right to a Special Land Use
in the Waterfront District**
- DELETE Shipping Facility as a Use by Right in the Waterfront District**
- DELETE Warehouse, Public as a Special Use in the Waterfront District**

**Article 12: W-F Waterfront District
AMEND Section 1200 Purpose and Intent**

- AMEND Permitted Use Table/List**
- DELETE Places of Public Assembly, Small**
- DELETE Shipping Facility**

- AMEND Special Use Table/List**
- DELETE Assembly Operation**
- DELETE Communication Tower**
- ADD Places of Public Assembly**
- DELETE Warehouse, Public**

- Section 1201 Uses Permitted by Right**
- DELETE Item I. Places of Public Assembly, Small**
- DELETE Item M. Shipping Facility**

- Section 1202 Uses Permitted by Special Land Use Permit**
- DELETE Item D. Assembly Operation**
- DELETE Item E. Communication Tower**
- DELETE Item Y. Warehouse Public**
- ADD Places of Public Assembly, Small**

- Section 1204 Waterfront Renaissance Zone Standards**
- AMEND Item A. Purpose**
- Amend Item C. Streamlined Permit Review**

**AMEND Section 1880 Sports and Recreation Club
B. Regulations and Conditions
Item 2**

ADD Requirement of Key Street Frontage in Waterfront District

THE CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN, ORDAINS:

1. That **Article 7: Districts, Dimensional Standards, Uses Table and Zoning Map Table 7-2 Uses Permitted by Right and Special Land Use Permit** be amended by **DELETE Assembly Operation as a Special Land Use in the Waterfront District; DELETE Communication Tower as a Special Land Use in the Waterfront District; CHANGE Place of Public Assembly - Small from a Use by Right to a Special Land Use in the Waterfront District; DELETE Shipping Facility as a Use by Right in the Waterfront District; DELETE Warehouse, Public as a Special Use in the Waterfront District** as follows:

Uses	R-1 Low. Densty	R-2 Med. Densty	R-3 Hi. Densty	R-4 Mfg. Hsng	W-F Water- front	C-1 Reg'l Com.	C-2 Neigh. Bus.	C-3 Central Bus.	L-1 Light Indust.	G-1 Gen'l Indust
Assembly Operation					SLU				R	R
Communication Tower			SLU		SLU		SLU		SLU	
Place of Public Assembly - Small	SLU	SLU	SLU		R SLU	R	R	R		
Shipping Facility					R					R
Warehouse Public					SLU	SLU			R	R

2. That **Article 12: W-F Waterfront District, Section 1200 Purpose and Intent** be **AMENDED** as follows:

It is the intent of this District to establish a mixed-use district incorporating a variety of recreational, residential, business or service uses on or near the Waterfront. This district is intended to encourage and promote sustainable, environmentally and aesthetically compatible developments that use or compliment the shoreline while promoting expanded use of the shoreline by the public. The W-F District is intended to host a variety of land uses including, but not limited to, residential, commercial, entertainment and recreational, and service. and industrial uses.

3. That **Article 12: W-F Waterfront District, Section 1200 Permitted Uses** be amended by **DELETING Places of Public Assembly, Small.**
4. That **Article 12: W-F Waterfront District, Section 1200 Permitted Uses** be amended by **DELETING Shipping Facility.**
5. That **Article 12: W-F Waterfront District, Section 1200 Special Uses** be amended by **DELETING Assembly operation.**

6. That **Article 12: W-F Waterfront District, Section 1200 Special Uses** be amended by **DELETING** Communication Tower.
7. That **Article 12: W-F Waterfront District, Section 1200 Special Uses** be amended by **ADDING**, Places of Public Assembly, Small.
8. That **Article 12: W-F Waterfront District, Section 1200 Special Uses** be amended by **DELETING** Warehouse, Public.
9. That **Article 12: W-F Waterfront District, Section 1201 Uses Permitted by Right** be amended by **DELETING** Item. I Place of Public Assembly, Small and Item M. Shipping Facility and renumber list accordingly.
10. That **Article 12: W-F Waterfront District, Section 1202 Uses Permitted by Special Land Use Permit** be amended by **DELETING** Item D. Assembly Operation; Item E. Communication Tower; Item Y. Warehouse Public and by **ADDING** Places of Public Assembly, Small and renumber list accordingly.
11. That **Article 12: W-F Waterfront District, Section 1204 Waterfront Renaissance Zone Standards, Item A Purpose** be **AMENDED** as follows:

A. Purpose. It is the intent of this district to provide for industrial development in certain parts of Manistee City, which have been designated by the Michigan Legislature as Renaissance Zones, pursuant to P.A. 376 of 1996 (being the Michigan Renaissance Zone Act, MCL 125.2681 *et. seq.*); to provide for alternative permit processing in cooperation with the Manistee County Alliance for Economic Success Economic Development Office; to provide for an accelerated schedule for special use permit review and action; to provide protection to Manistee Waterways, its their water quality, to protect it's the shoreline from erosion or instability, to minimize the disturbance of heavy metals which may be on the lake bottom; to recognize, encourage the development and/or redevelopment of certain waterfront properties; and maintain a higher proportion of industries in the central and southern portion of the lake near railroad and shipping access that does not adversely affect the area; to prioritize the use of certain lakefront property on Manistee Lake for industrial businesses which require the use of the lake and require being in the proximity of the lake, (conversely, it is the intent of this district to encourage the development of businesses which do not need proximity to Manistee Lake to be located in those other landward areas); while at the same time to be consistent with the provisions of Manistee City Master Plan, the Manistee Lake Management Plan of 1982, the Manistee County Land Use Plan and the Manistee County Economic Development Strategy.

12. That **Article 12: W-F Waterfront District, Section 1204 Waterfront Renaissance Zone Standards, Item C Streamlined Permit Review** be **AMENDED** as follows:

C. Streamlined Permit Review. Because one of the primary purposes of this district is to accommodate industrial economic development through Michigan's Renaissance Zone program both permitted use and Special Use permits may be applied for on behalf of a client by the Manistee County Alliance for Economic Success Economic Development

Office as a means to reduce paperwork, streamline the permit process for potential economic development in Manistee County.

13. That **Article 18: Special Uses, Section 1880 Sports and Recreation Club, B. Regulations and Conditions, Item 2** be amended by **ADDING Requirement of Key Street Frontage in Waterfront District** as follows:

2. Within the WF Waterfront District, a Sports and Recreation Club whether or not alcoholic beverages are served shall front on and be accessed from a key street segment, as defined. In all other districts any such facilities serving alcoholic beverages shall front on and be accessed from a key street segment, as defined herein.

And make appropriate edits to indexes, tables and chart provisions as necessary

14. **CONFLICTING ORDINANCES:** that any and all ordinances of City of Manistee which may conflict with the provisions of this ordinance as amended, be and are hereby rescinded.

15. **EFFECTIVE DATE:** This Ordinance shall take effect seven days after publication in the Manistee News Advocate.

Ilona Hayden, Mayor

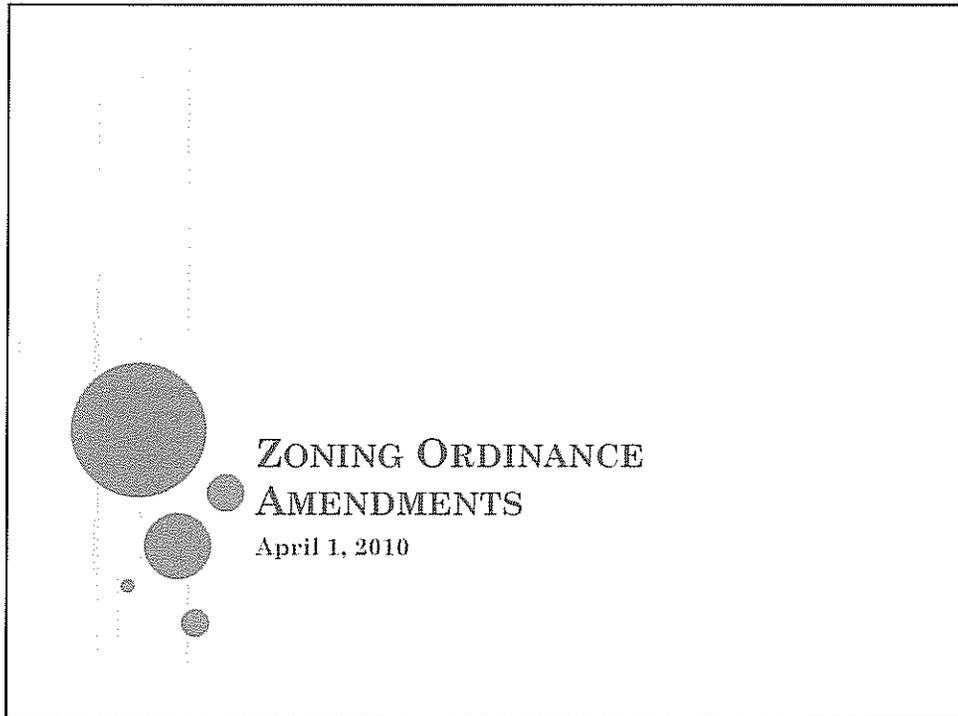
Dated

ATTEST:

Michelle Wright

Dated

City Clerk/Deputy Treasurer



WHAT IS A ZONING ORDINANCE?

- A Zoning Ordinance is a document that regulates the use of land within a municipality
- The Zoning Ordinance was adopted by City Council on February 21, 2006; effective on March 27, 2006

AMENDMENTS

- A Zoning Ordinance is a “living document” that is changed “Amended” as needs arise
- It is not uncommon when a new Ordinance is Adopted for there to be corrections and modifications to the ordinance

PREVIOUS CHANGES

- 23 Amendments made to the Ordinance in 2007
- 7 Amendments made to the Ordinance in 2008
- A Public Hearing was held on March 4, 2010 for 4 amendments. These amendments will be forwarded to City Council in April or May.

HOW DO YOU AMEND AN ORDINANCE?

- The Ordinance is reviewed by Staff, the Ordinance Review Committee or the PC
- Language is drafted
- PC discusses the proposed Amendment
- Amendment is reviewed by the Planning Consultant
- The PC schedules a Public Hearing

WHY A PUBLIC HEARING?

- The Michigan Zoning Enabling Act requires a Public Hearing for amendments to the Zoning Ordinance
- Notice of the Public Hearing is placed in the Newspaper more than 15 days prior to the hearing

COPIES FOR REVIEW

- Copies of the Proposed Amendment were available for review at:
 - City Hall
 - Manistee County Library
 - Posted on the City of Manistee Web Page
www.ci.manistee.mi.us

COMMENTS

- Public Comments are requested
- Public can respond in writing
- Public is invited to attend Public Hearing

DELIBERATIONS

- After the Public Hearing the PC discuss the proposed changes
- If the PC determines the Amendment is appropriate a Motion of recommendation to City Council is made



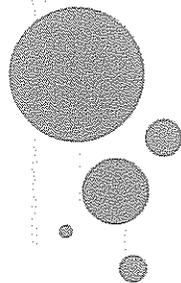
CITY COUNCIL

- City Council Ordinance Review Committee and City Attorney reviews proposed Amendment
- City Council Considers Amendment at a Council Meeting
- Adoption or denial takes place at the following meeting

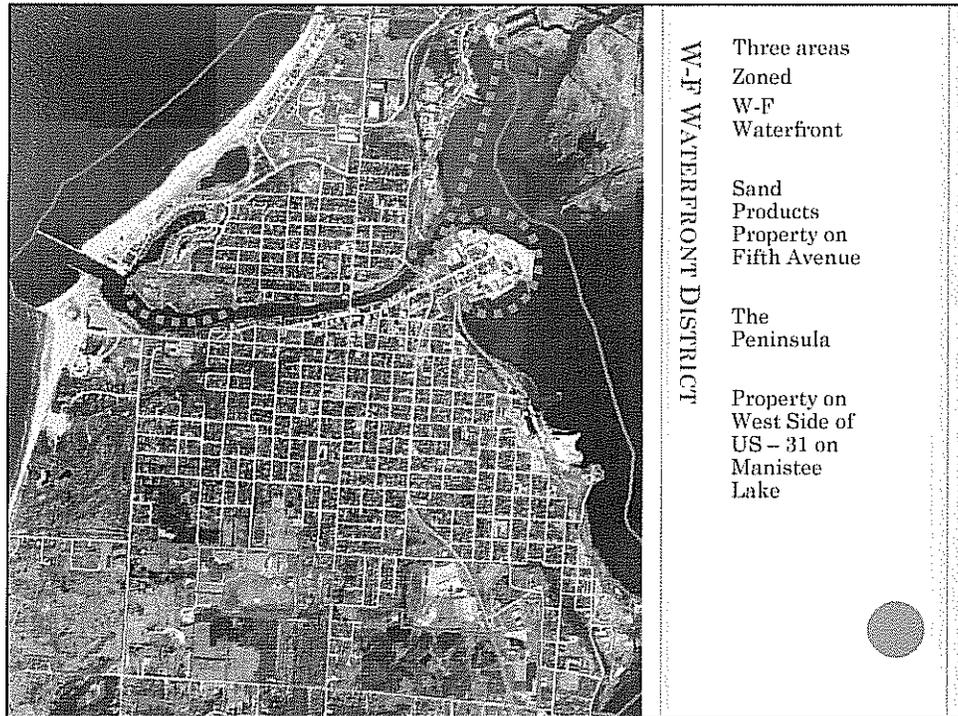


IF APPROVED

- City Clerk places notice in the newspaper that City Council adopted the Ordinance Amendment
- Ordinance takes effect 10 days after adoption



PROPOSED ZONING
AMENDMENT Z10-05
W-F WATERFRONT DISTRICT
April 1, 2010



CHANGES TO SECTION 1200 PURPOSE AND INTENT

o SECTION 1200 PURPOSE AND INTENT

- o It is the intent of this District to establish a mixed-use district incorporating a variety of recreational, residential, business or service uses on or near the Waterfront. This district is intended to encourage and promote sustainable, environmentally and aesthetically compatible developments that use or compliment the shoreline while promoting expanded use of the shoreline by the public. The W-F District is intended to host a variety of land uses including, but not limited to, residential, commercial, entertainment and recreational, and service uses. ~~and industrial uses.~~

PROPOSED CHANGES

- | | |
|--|--|
| <ul style="list-style-type: none"> o PERMITTED USES o Accessory building with footprint less than or equal to the footprint of the principal structure o Accessory use to uses permitted by right. o Duplex o Dwelling, Single unit o Gallery or Museum o Home Occupation, Minor subject to Section 1847, B, 1 o Outdoor Recreation, Park o Personal Service Establishment o Places of Public Assembly, Small o Professional Office o Professional Service Establishment o Retail Business o Shipping Facility o Subdivision, and condominium subdivision consisting of permitted uses, clustered or traditional subject to the Subdivision Control Ordinance. o Uses similar to uses permitted by right, subject to Section 530. o SPECIAL USES o Accessory building with footprint greater than the footprint of the principal structure o Accessory uses to a permitted special use o Adaptive House | <ul style="list-style-type: none"> o SPECIAL USES (CONT'D) o Assembly Operation o Bed & Breakfast o Communication Tower o Convenience Store, w/o fuel pumps o Day Care, Commercial and Group o Dwelling - Multiple unit o Eating and Drinking Establishment o Home Based Business o Home Occupation, Major o Hotels o Marina o Mixed-Use Development o Parking Facility, Public o Places of Public Assembly, Small o Planned Unit Development o Studio for performing and graphic arts o Uses similar to permitted special use o Warehouse, Public o *Special Use Requires Key Street Frontage o Financial Institution * o Motels * o Places of Public Assembly, Large * o Sports and Recreation Club * o Theater * |
|--|--|

PROPOSED CHANGES TO SECTION 1204 WATERFRONT RENAISSANCE ZONE STANDARDS

- o A. Purpose. It is the intent of this district to provide for industrial development in certain parts of Manistee City, which have been designated by the Michigan Legislature as Renaissance Zones, pursuant to P.A. 376 of 1996 (being the Michigan Renaissance Zone Act, MCL 125.2681 *et. seq.*); to provide for alternative permit-processing in cooperation with the Manistee County Alliance for Economic Success ~~Economic Development Office~~; to provide for an accelerated schedule for special-use permit review and action; to provide protection to Manistee Waterways, their Lake, its water quality, to protect it's the shoreline from erosion or instability, to minimize the disturbance of heavy metals which may be on the lake bottom; to recognize, encourage the development and/or redevelopment of certain waterfront properties; and maintain a higher proportion of industries in the central and southern portion of the lake near railroad and shipping access that does not adversely affect the area; to prioritize the use of certain lakefront property on Manistee Lake for industrial businesses which require the use of the lake and require being in the proximity of the lake, (conversely, it is the intent of this district to encourage the development of businesses which do not need proximity to Manistee Lake to be located in those other landward areas); while at the same time to be consistent with the provisions of Manistee City Master Plan, the Manistee Lake Management Plan of 1982, the Manistee County Land Use Plan and the Manistee County Economic Development Strategy.

PROPOSED CHANGES TO
SECTION 1204 WATERFRONT RENAISSANCE ZONE
STANDARDS

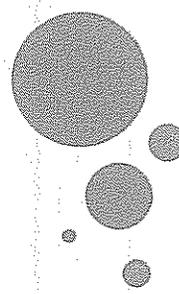
- C. Streamlined Permit Review. Because one of the primary purposes of this district is to accommodate industrial economic development through Michigan's Renaissance Zone program both permitted use and Special Use permits may be applied for on behalf of a client by the Manistee County Alliance for Economic Success Economic Development Office as a means to reduce paperwork, streamline the permit process for potential economic development in Manistee County.

CHANGES TO
ARTICLE 18 SPECIAL USES,
SECTION 1880 SPORTS AND RECREATION CLUB,
B. REGULATIONS AND CONDITIONS, ITEM 2

- Within the WF Waterfront District, a Sports and Recreation Club whether or not alcoholic beverages are served shall front on and be accessed from a key street segment, as defined. In all other districts any such facilities serving alcoholic beverages shall front on and be accessed from a key street segment, as defined herein.

CHANGES
ARTICLE 7 DISTRICTS, DIMENSIONAL STANDARDS,
USES TABLE AND ZONING MAP, TABLE 7-2

Uses	R-1 Low Densit 2	R-2 Med. Densit 3	R-3 Hi Densit 3	R-4 Mfr. Hse	W-F Water Front	C-1 Regl Com	C-2 Neigh Bus.	C-3 Cent Bus.	L-1 Light Indust	G-1 Genl Indust
Assembly Operation					SLU				R	R
Communication Tower			SLU		SLU		SLU		SLU	
Place of Public Assembly, Small	SLU	SLU	SLU		R SLU	R	R	R		
Shipping Facility					R					R
Warehouse					SLU	SLU			R	R



PUBLIC COMMENT
Proposed Amendment Z10-05

Staff/Site Plan Review for: City of Manistee, Municipal Marina
480 River Street
Manistee, MI 49660

Address/Parcel Code#: 51-349-702-06

Zoning District: C-3 Central Business District

Proposed Use: Municipal Marina

	Requirements	Proposed	Compliance	
Minimum Lot Area:	2,500 sq. ft.	Exceeds	X yes	<input type="checkbox"/> no
Minimum Lot Width:	25 ft	Exceeds	X yes	<input type="checkbox"/> no
Max. Building Height:	4 stories, or 50 ft	Less than 50 ft	X yes	<input type="checkbox"/> no
Maximum Lot Coverage:	100%	less than 100%	X yes	<input type="checkbox"/> no
Front Yard Set Back:	0 ft	n/a	X yes	<input type="checkbox"/> no
Side Yard Set Back:	0 or 4 ft (each side)	n/a	X yes	<input type="checkbox"/> no
Rear Yard Set Back:	6 ft	22 ft	X yes	<input type="checkbox"/> no
Waterfront Set Back	20 ft	22 ft	X yes	<input type="checkbox"/> no
Parking Requirements:	0	n/a	X yes	<input type="checkbox"/> no

Landscaping Requirements - subject to Section 531:

Outdoor Lighting Requirements - subject to Section 525:

U.S. 31 Corridor Overlay District Requirements - subject to Article 19:

NOTES: _____

Zoning Reviewed and Approved by: 

Land Use Permit Application

Detailed Site Plan - Fee WAIVED

One copy of the completed application form for site plan review which shall contain at a minimum the following information (a narrative attachment is recommended in addition to the application form to sufficiently address all of the following items):

1. Name, address and signature of applicant and property owner:

Name **City of Manistee**
 Address: **70 Maple Street, Manistee, MI 49660**
 Daytime Phone Number: **231-398-2805**

2. Legal description, property parcel number and street address of the subject parcel of property:
 Legal description:

FILER + TYSONS ADD BLOCKS 2 + 3, EXC COM SE COR OF LOT 3 BLK 2 S 75DEG 45MIN W 71.42 FT, N 14DEG 15 MIN W 48.33 FT, N 75DEG 45MIN E 84.22 FT, S 0DEG 37MIN W 50FT TO POB ALSO EXC LOTS 1 & 2 BLOCK 2 BLOCK 2 & 3. ALSO THAT PORTION OF VAC PINE ST BETWEEN RIVER ST & MANISTEE RIVER CHANNEL DOCUMENT# 2008R005333 ___P. ADDR: 480 RIVER ST & 70 SPRUCE

Address of Project: **480 River Street** Parcel Code # **51-349-702-06**

3. Area of the subject parcel of property stated in acres, or if less than one (1) acre, in square feet.
4. Present zoning classification on parcel and on adjacent parcels: **C-3 Central Business District**
5. Present and proposed land use: **Municipal Marina - Outdoor Recreation Park & Marina**
6. Applicant's statement of the expected effect on emergency service requirements, schools, storm water systems, automobile and truck circulation patterns and local traffic volume. **None**
7. A description of the proposed development and the land use proposed: **Remove existing Marina Building and Construct a new building at the same location.**
8. Finished Height of Project: **Less than 50 ft.**

By signing the application the applicant is authorizing City Staff permission to make site inspections as necessary. The undersigned affirms that the information included in this application is correct. Further if the request is approved, the applicant will comply with all of the requirements of the City of Manistee Zoning Ordinance and certifies that measures proposed to mitigate adverse impacts will be completed in a timely fashion.

Signature: *Mitchell D. Desch* Date: March 15, 2010

OFFICE USE ONLY

Zoning District: _____ Set Back Requirements: Height _____ Front _____
 Date of Application: _____ Water Front _____ Rear _____ Side _____
 Fee/Receipt # _____ Notes: _____
 Approval: _____ Date: _____
 Approval: _____ Date: _____

Site Plan Information required in Application:

Project Name: City Marina

A Detailed Site Plan. A detailed site plan shall be required for all uses other than those that may submit a basic site plan. Detailed site plan shall include twelve (12) copies of all required information, one 11x 17 size copy of request, and and twenty-five (25) copies of any documents rendered in color. It shall be prepared by an Engineer, Architect, Landscape Architect or Planner licensed to work in Michigan and shall include and illustrate at a minimum the following information:

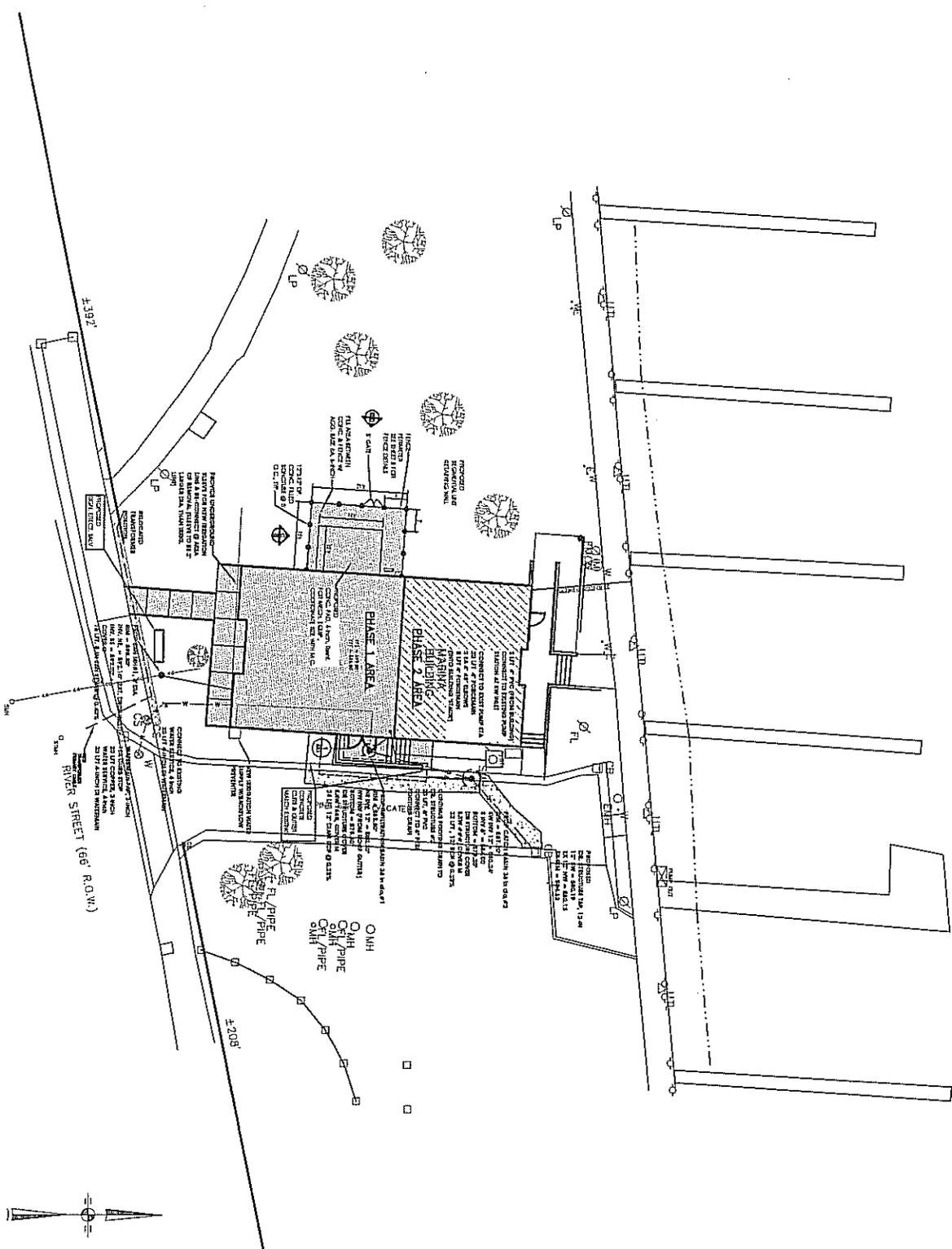
1. A scale drawing of the site and proposed development thereon, including the date, name, address and professional seal of the preparer. In no instance shall the scale of the drawing be greater than one inch equals 20 feet nor less than one inch equals 200 feet. One copy shall be submitted in a photo-reduced form on 17"x 11" paper.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
2. The scale of the drawing and north arrow.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
3. A vicinity map illustrating the property in relation to the surrounding street system.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
4. Topography of the site and its relationship to adjoining land illustrated at 2-foot contours and including an area extending 100 feet from the parcel boundary.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
5. Existing man-made features, including buildings, fences, landscaping, parking, screening and the locations, heights and footprint of each.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
6. Illustration of all proposed improvements and buildings, fences, landscaping, parking and screening, including location, height, footprint of each.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
7. Setback lines and their dimensions.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
8. Percentage of land covered by buildings and impervious surfaces and that reserved for open space.
 Included
 Waived by N/A [Planning Commission reserves the right to require the information at a later date]

C-3 100%

Project Name: City Marina

9. Dwelling unit density where pertinent; including a density schedule demonstrating number of each dwell type, if applicable.
 Included
 Waived by NA [Planning Commission reserves the right to require the information at a later date]
10. Project phasing, if applicable.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
11. Location of public and private rights-of-way and easements contiguous to and within the proposed development which are planned to be continued, created, relocated or abandoned, including grades and types of construction of those upon the site.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
12. Curb-cuts, driving lanes, parking and loading areas, including the number of parking spaces and parking calculations; vehicular circulation patterns and features, location and size of all parking spaces and the identification of service lanes and parking.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
13. Curb-cuts and driveways on adjacent properties.
 Included
 Waived by R [Planning Commission reserves the right to require the information at a later date]
14. Location and type of drainage, sanitary sewers, storm sewers and other facilities, including surface and subsurface drainage for all impermeable surfaces on the site and all drainage calculations.
 Included
 Waived by existing [Planning Commission reserves the right to require the information at a later date]
15. Existing and proposed water main, sanitary and storm sewer, natural gas, electric, telephone, cable television and other utilities, the proposed location of connections to existing utilities and any proposed extensions thereof.
 Included
 Waived by existing [Planning Commission reserves the right to require the information at a later date]
16. Proposed changes to the topography of the site illustrated at no greater than two (2) foot contours.
 Included
 Waived by _____ [Planning Commission reserves the right to require the information at a later date]
17. Soil erosion and sediment control measures which shall include preventative soil erosion devices or measures, both during and after any site work related to the development.
 Included
 Waived by Contractor to provide [Planning Commission reserves the right to require the information at a later date]

MANISTEE RIVER



NOTES:

ANY EXISTING AND REMOVAL OF EXISTING BUILDING BEING DEMOLISHED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SEE GRADING PLANS FOR ADDITIONAL REMOVAL AND RECONSTRUCTION DEMANDS THAT BE REQUIRED AND SHALL BE INCLUDED IN OTHER PLANS OF WORK.

SHOULD BE NOTED:

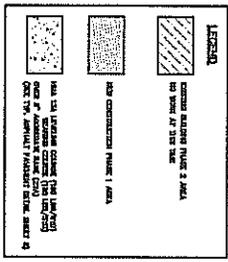
EXISTING SANITARY CONNECTIONS SHALL BE REMOVED AND NOT REINSTALLED FROM EXISTING MANHOLE LEVEL SHALL BE REMOVED AND NOT REINSTALLED. ALL EXISTING SANITARY CONNECTIONS SHALL BE REMOVED AND NOT REINSTALLED FROM EXISTING MANHOLE LEVEL SHALL BE REMOVED AND NOT REINSTALLED.

ADDITIONAL SANITARY SEWER CONNECTIONS SHALL BE REQUIRED TO HAVE CONNECTION TO EXISTING STATION AND TO OBTAIN RECORDS FROM THE CITY OF MANISTEE.

CONNECTIONS SHALL VERIFY EXISTENCE OF EXISTING SANITARY SEWER AT PROPOSED SANITARY SEWER MANHOLE LOCATION PRIOR TO CONSTRUCTION. VERIFY EXISTENCE OF EXISTING SANITARY SEWER WITH FIELD SURVEY. VERIFY EXISTENCE OF EXISTING SANITARY SEWER WITH FIELD SURVEY. VERIFY EXISTENCE OF EXISTING SANITARY SEWER WITH FIELD SURVEY.

EXISTING:

FRONT YARD: 6' REMOVAL: 2' 0"



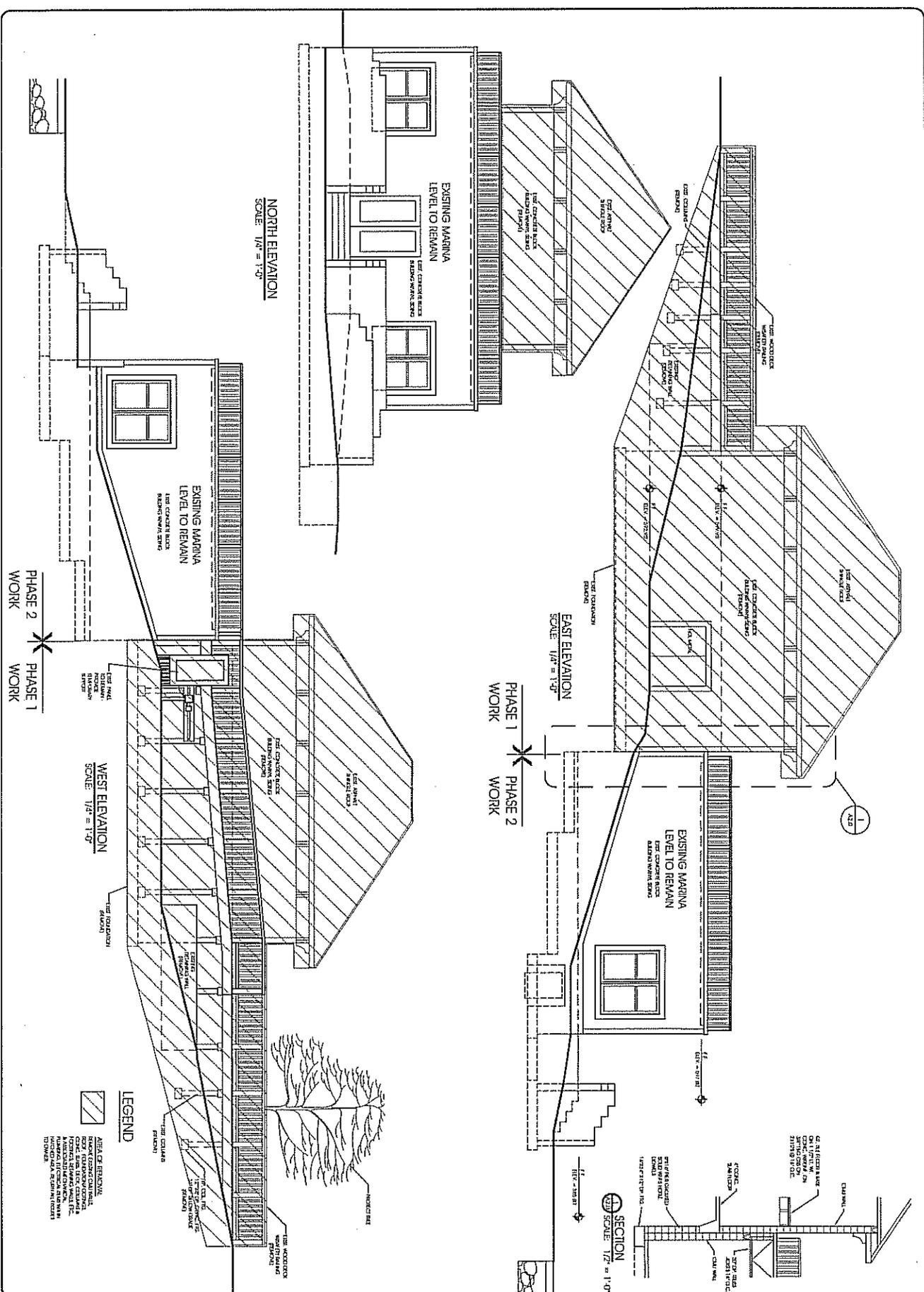
GRAPHIC SCALE
1" = 20' RL

NO.	DATE	BY	DESCRIPTION
1	08/27/20	BT	TITLE BLOCK
2	09/01/20	BT	REVISION

ABONIMARCHE CONSULTANTS, INC.
 700 W. WASHINGTON ST.
 MANISTEE, MI 49880
 PHONE: 231-338-1111
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 WWW: WWW.ABONIMARCHE.COM

CITY OF MANISTEE
 700 W. WASHINGTON ST.
 MANISTEE, MI 49880
 PHONE: 231-338-1111
 FAX: 231-338-1111
 WWW: WWW.CITYOFMANISTEE.COM

PROPOSED DEMOLITION SITE PLAN
 SHEET 4



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

SECTION
SCALE: 1/2" = 1'-0"

LEGEND

- [Hatched Pattern] AREA TO REMAIN
- [Hatched Pattern] CONCRETE
- [Hatched Pattern] BRICK
- [Hatched Pattern] STONE
- [Hatched Pattern] METAL PANELS
- [Hatched Pattern] GLASS
- [Hatched Pattern] ROOF
- [Hatched Pattern] TERRACE
- [Hatched Pattern] FLOORING
- [Hatched Pattern] MECHANICAL
- [Hatched Pattern] ELECTRICAL
- [Hatched Pattern] PLUMBING
- [Hatched Pattern] PAINT
- [Hatched Pattern] FINISH
- [Hatched Pattern] LANDSCAPE
- [Hatched Pattern] TREES

EXISTING ELEVATIONS PHASE 1
CITY OF MANISTEE MARINA BUILDING
460 RIVER STREET
MANISTEE, MI 49660

ABONMARCHÉ
Confidence By Design
ENGINEERS / ARCHITECTS / PLANNERS / SURVEYORS

101 N. GLENN STREET
MANISTEE, MI 49660
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A2.0
SHEET

NO.	REVISIONS	DATE

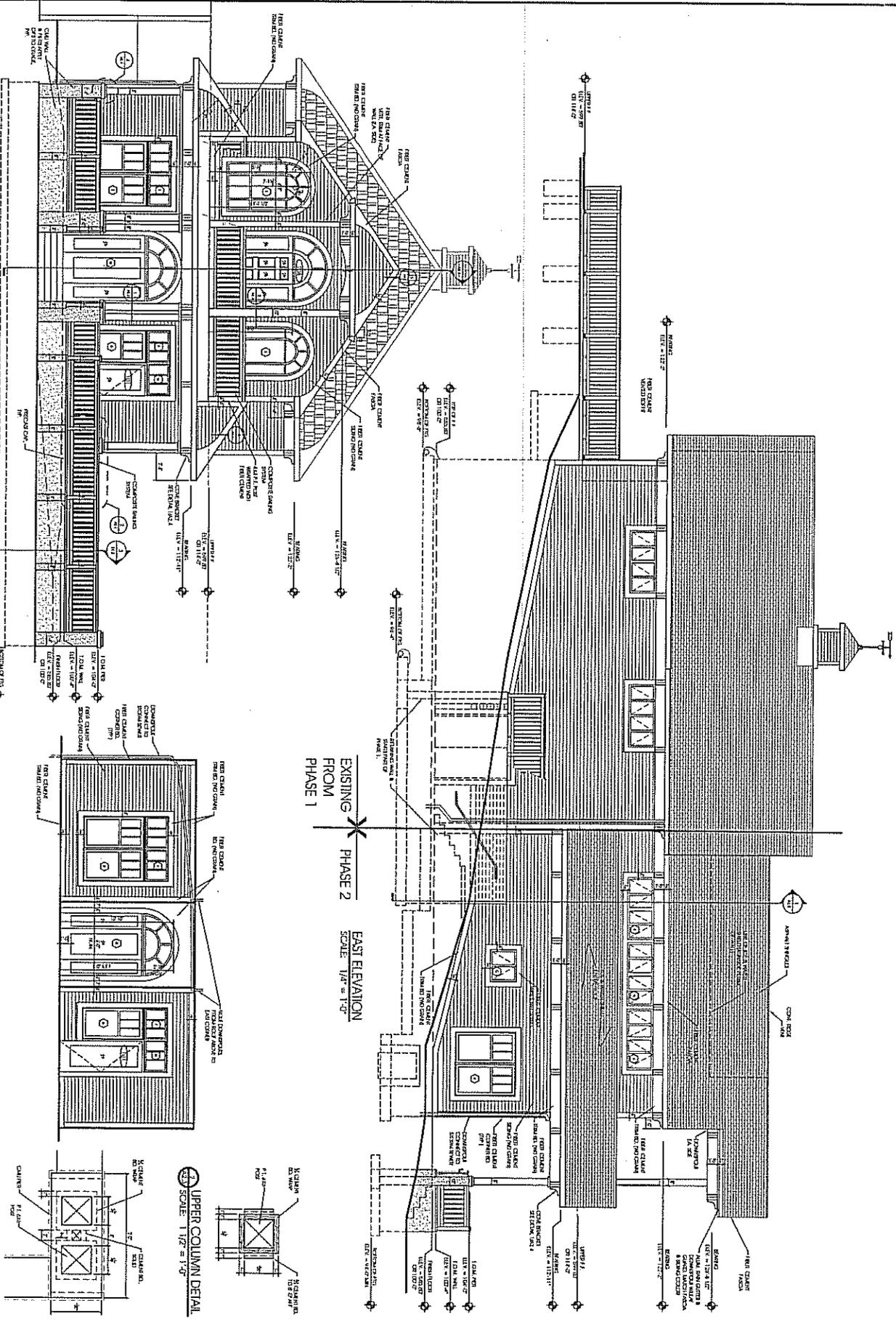
DATE: 10/20/11
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"

COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"

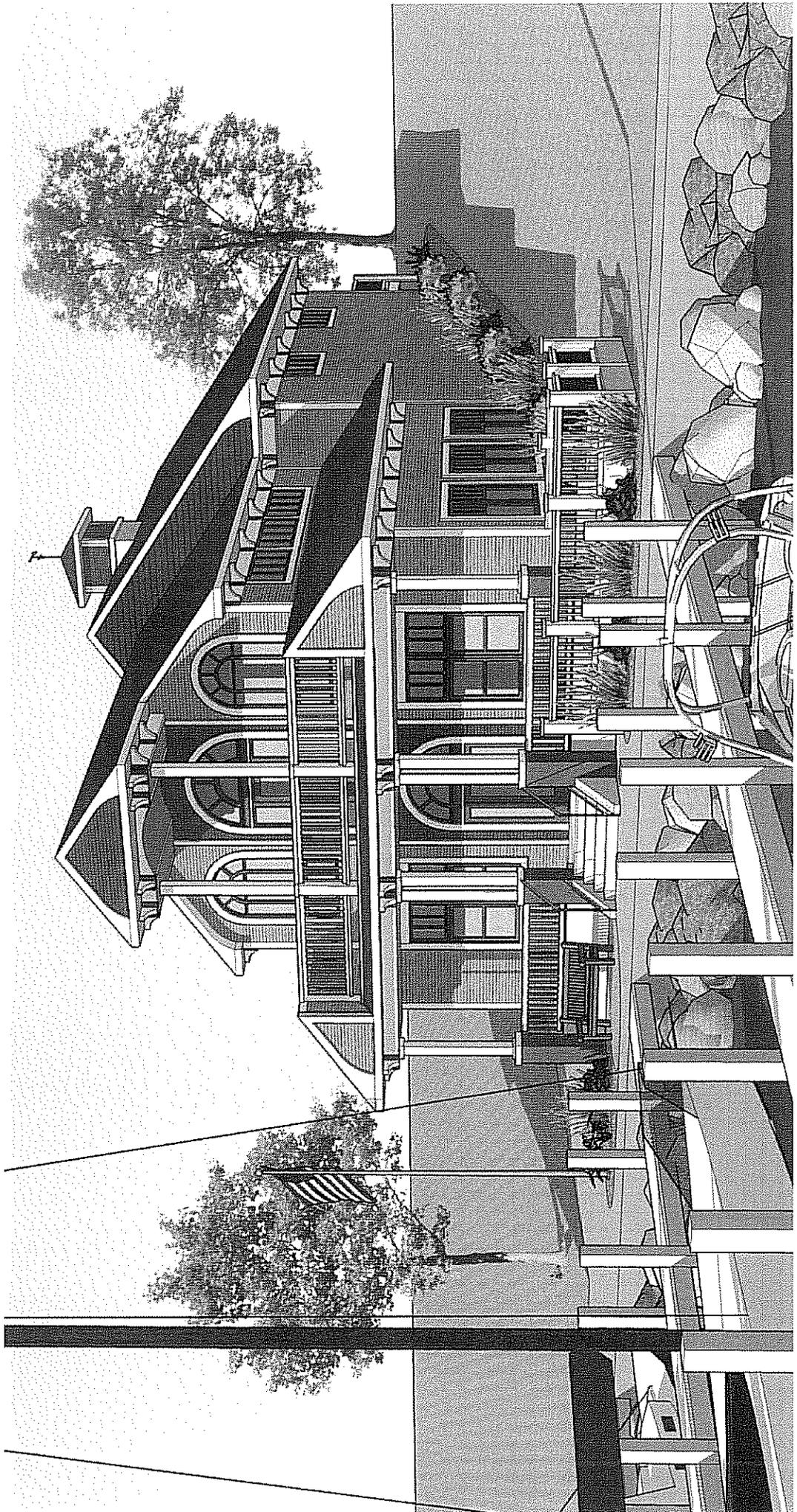
A2.3



ELEVATIONS PHASE 2
CITY OF MANISTEE MARINA BUILDING
460 RIVER STREET
MANISTEE, MI 49660

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SECTION 2101 PROCEDURES

- A. Sign Permit Application. The Planning Commission or the Zoning Administrator may approve sign permit applications. Where signs are proposed as part of a broader Site Plan, the Planning Commission shall *may* (makes it an option not a requirement) review the entire Site Plan, including signage, per Article 22. Where proposed signage is not an element of a broader proposed use requiring site plan approval, the Zoning Administrator may waive the submission of certain materials outlined in Article 22, if such materials are determined not to be applicable to the proposed sign permit application or relevant to the consideration of the Zoning Administrator for the proposed or modified sign; in which case, materials submitted with a sign permit application, at a minimum, shall include:

SECTION 2102 GENERAL STANDARDS

- A. Computations. The following standards shall be met when calculating the area and height of a sign.
1. Area of Signs (wall, window, marquee, electronic).
 - a. For Use Type 3, as provided in Section 2108, in the C-1, C-2, C-3 and W-F districts when fronting US-31, wall, *projecting*, (Added) window, and marquee, ~~and/or~~ electronic signs shall be permitted and the maximum cumulative sign area permitted expressed in square feet shall be not more than 1.5 times the principal building width, measured from corner to corner, facing the public right-of-way, *or fifty (50) square feet for each storefront, whichever is greater.* (Eliminates confusion and requires definition of Storefront - Tenant space that fronts on a public street and that occupies all or a portion of a principal building accessed from a main entrance.) [Annotation: the word principal was added for clarification purposes by Amendment 07-16, effective 5/29/07]
 1. The maximum width of any wall sign shall not exceed ninety (90) percent of the width of the wall to which the sign is attached and shall not project higher than the roofline of the structure to which it is attached.
 2. ~~For buildings located on corner lots where two or more sides of the building face a public right-of-way, maximum permitted cumulative sign area may be determined for each building side that faces the road right-of-way provided that all such sign area shall only be allowed to the building side for which it is based.~~ Clarified under item F
 - b. For Use Type 3, as provided in Section 2108, in the C-1, C-2, C-3 and WF districts that do not front US-31, wall, ground, projecting, window and marquee signs shall be permitted and the maximum cumulative sign area permitted expressed in square

feet shall not be more than 1.5 times the principal building width, measured from corner to corner, facing the public right-of-way, or fifty (50) square feet *for each storefront*, whichever is greater. (Eliminates confusion and requires definition of Storefront - Tenant space that fronts on a public street and that occupies all or a portion of a principal building accessed from a main entrance.) [Annotation: the word principal was added for clarification purposes by Amendment 07-16, effective 5/29/07]

1. The maximum width of any wall sign shall not exceed ninety (90) percent of the width of the wall to which the sign is attached and shall not project higher than the roofline of the structure to which it is attached.
2. ~~For buildings located on corner lots where two or more sides of the building face a public right-of-way, maximum permitted cumulative sign area may be determined for each building side that faces the road right-of-way, provided that all such sign area shall only be allowed to the building side for which it is based.~~ Clarified under item F
3. Projecting signs shall be limited to one per ~~parcel~~ *storefront* and no greater than sixteen (16) square feet in area.

c. For Use Type 3, as provided in Section 2108, in the C-2, C-3 and WF districts with water frontage, wall, ground, projecting, window and marquee signs shall be permitted on the water front side and the maximum cumulative sign area permitted expressed in square feet shall not be more than .75 times the principal building width, measured from corner to corner, facing the public right-of-way, or twenty-five (25) square feet, which ever is greater.

1. The maximum width of any wall sign shall not exceed ninety (90) percent of the width of the wall to which the sign is attached and shall not project higher than the roofline of the structure to which it is attached.
2. Projecting signs shall be limited to one per ~~parcel~~ *storefront* and no greater than sixteen (16) square feet in area.

[Annotation: Item C was added by Amendment 07-24, effective 5/29/07]

F. ~~Sign area on Corner Lots: Where the sign area permitted in Table 2100-1 is a function of street frontage, on corner lots the frontage shall be the sum of all abutting street frontage.~~ *Allocation of Signage. Signage may be allocated to any side of the building where only one side of the building is allowed signage. For buildings where more than one side of the building is allowed signage (i.e. corner lots) signage may be allocated to an adjoining side of the building where signage is not allocated.* (Reflects current policy)

SECTION 2103 EXEMPT SIGNS

The following signs shall be exempt from regulations in this Article.

- K. Temporary signs advertising yard sales, items for sale or similar temporary activities, provided such signs are *erected on private property where authorized by the owner, are not illuminated, and temporarily with a total surface area do not to exceed four (4) eight (8) square feet in area, and are removed within three (3) seven (7) days of installation. Size and length of time same as Filer Township*
- M. *Government Building Signage, Wayfinding Signage and Signage for Outdoor Recreation and Park Facilities. (Government Buildings deleted from Use Type 4 Table, Outdoor Recreation and Park Facilities deleted from Use Type 3 Table, Wayfinding Signage added for clarification)*

SECTION 2104 PROHIBITED SIGNS

The following signs shall not be allowed in any district.

- G. Signs located in, projecting into or overhanging within a public right-of-way or dedicated public easement, except the following:
 - 7. ~~“A-frame” signs, as permitted and regulated in Section 2112.~~

Provided further, that Portable “A-frame” signs shall be permitted in the C-2 and C-3 districts subject to a determination by the Zoning Administrator that said placement will not impact safety or visibility for motorists and pedestrians. (Eliminates reference)

Changes to Tables

Use Type 1

Add Adult Foster Care (moved from Use Type 2 - Table will be deleted)

- R-2 No change in signage
- R-3 No change in signage

Add Bed & Breakfast (moved from Use Type 2 - Table will be deleted)

- R-1 No change in signage
- R-2 No change in signage
- R-3 No change in signage
- W-F decreased from 32 sq. ft. to 16 sq. ft.
- C-3 decreased from 32 sq. ft. to 16 sq. ft.
- C-2 ordinance language not adopted yet - decrease from 32 sq. ft. to 16 sq. ft.

Use Type 2 – Table will be deleted - Remaining Tables will be re-numbered
Moved Adult Foster Care to Use Type 1
Moved Bed & Breakfast to Use Type 1

Use Type 3

Example of Uses

Delete Outdoor Recreation and Park Facilities – Moved to Exempt Signs

Delete “Public” from Parking Facility - Correction

Add Cemetery (moved from Use Type 4 – Table will be deleted)

L-I - No Change

Add Education Facility (moved from Use Type 4 – Table will be deleted)

R-2 – No Change

R-3 – decreased from 32 sq. ft. to 16 sq. ft

C-2 – changed from 32 sq. ft. to 1/5 x principal building width

LI – No Change

GI – No Change

Golf Course (moved from Use Type 4 – Table will be deleted)

R-1 - No Change

Places of Public Assembly (moved from Use Type 4 – Table will be deleted)

R-1 – No Change

R-2 – No Change

R-3 – decreased from 32 sq. ft. to 16 sq. ft.

W-F – changed from 32 sq. ft. to 1.5 x principal building width

C-1 – changed from 64 sq. ft. to 1.5 x principal building width

C-2 – changed from 32 sq. ft. to 1.5 x principal building width

C-3 - changed from 32 sq. ft. to 1.5 x principal building width

LI – No Change

R-1, R-2, R-3, R-4 – Combined into one line

Added Projecting to types of Signs

Added Marquee to types of Signs

C-1, C-2, C-3, R-2 & W-F - with frontage on US 31

Added Projecting to types of Signs - Did not put a 16 sq. ft. limit on the sign

Window signs will not require a permit and are unlimited

Portable “A-frame” Signs limited to 8 sq. ft., one per storefront, no permit

C-1, C-2, C-3 - Not fronting on US 31

Window signs will not require a permit and are unlimited

Portable "A-frame" Signs limited to 8 sq. ft., one per storefront, no permit

LI & GI District

Increased signage from 32 sq. ft. to 64 sq. ft

Added Marquee to types of Signs

Use Type 4 will be deleted – Remaining Tables will be re-numbered

Cemetery, Education Facility, Golf Courses, Places of Public Assembly, moved to Use Group 2

Civic and Government Buildings – moved to Exempt Signs

Use Type 5

Assembly Operation is added to the list (omitted previously)

Changed Waterfront to uses of this type not normally permitted in District – per proposed Ordinance Amendment.

TABLE 2100-1 USE TYPES AND SIGN STANDARDS

Section 2106 Use Type 1, Low Intensity and Residential

Description Uses of this type include dwelling units and associated uses.

Examples of Uses *Adult Foster Care, Bed & Breakfast, Dwelling - Single Unit, Dwelling - Multiple Unit, Duplex, Manufactured Housing Community, Home Based Business, Major Home Occupation, and similar uses in the judgment of the Zoning Administrator*

Zoning Districts	Permitted Sign Types	Nº. Signs Permitted	Cumulative Sign Area	Lighting	Conditions
R-1	Wall, Ground	1	4 Sq. Ft.	None	
R-2	Wall, Ground	1	4 Sq. Ft.	None	A multiple unit project or complex shall be permitted one, externally lit 16 square foot sign
R-3	Wall, Ground	1	4 Sq. Ft.	External	A multiple unit project or complex shall be permitted one, externally lit 32 square foot sign
R-4	Wall, Ground	1	4 Sq. Ft.	Either	A multiple unit project or complex or manufactured housing community shall be permitted two, externally or internally lit 32 square foot signs
C-1	Wall, Ground, Projecting*	1	16 Sq. Ft.	Either	A multiple unit project or complex shall be permitted one, externally or internally lit 32 square foot sign
C-2	Wall, Ground, Projecting*	1	16 Sq. Ft.	External	A multiple unit project or complex shall be permitted one, externally lit 16 square foot sign
C-3 & W-F	Wall, Ground, Projecting*	1	16 Sq. Ft.	External	A multiple unit project or complex shall be permitted one, externally lit 16 square foot sign

* Projecting signs shall be limited to one per parcel and no greater than sixteen (16) square feet in area.

TABLE 2100-1 USE TYPES AND SIGN STANDARDS

Section 2107 Use Type 2, Residential and Residential Commercial

Description Uses of this type include care facilities and small-scale accommodations.

Examples of Uses Adult Foster Care, Bed & Breakfast, and similar uses in the judgment of the Zoning Administrator

Zoning Districts	Permitted Sign Types	Nº. Signs Permitted	Cumulative Sign Area	Lighting	Conditions
R-1 & R-2	Wall, Ground	4	4 Sq. Ft.	External	
R-3	Wall, Ground	4	4 Sq. Ft.	External	
R-4	Wall, Ground	4	4 Sq. Ft.	External	
C-1	Wall, Ground, Window	2	64 Sq. Ft.	Either	For parcels with more than 600 feet of frontage, one additional ground sign shall be permitted.
C-2	Wall, Ground, Projecting*, Window	2	32 Sq. Ft.	Either	
C-3 & W-F	Wall, Ground, Projecting*, Window	2	32 Sq. Ft.	Either	

* Projecting signs shall be limited to one per parcel storefront and no greater than sixteen (16) square feet in area.

[Annotation: This section was changed by changing Use Type 2 from Residential and Recreation Commercial to Residential Commercial, deleting "as well as outdoor recreation facilities" from the Description and to remove Golf Course and Nursing Convalescent Homes from the Example of Uses by Amendment 07-19, effective 5/29/07]

TABLE 2100-1 USE TYPES AND SIGN STANDARDS

Section 2108 Use Type 3-2, Commercial and Office

Description Uses of this type include retailing, various personal and professional services, accommodations and high-traffic retail and service facilities.

Examples of Uses Animal Grooming, Auto Repair Facility, Car Wash, *Cemetery*, Convenience Store with or w/out fuel pumps, Commercial Day Care, Eating and Drinking Establishments, *Educational Facility*, Financial Institutions, Galleries and Museums, Gasoline Stations, *Golf Course*, Greenhouses and Nurseries, Group Day Care, Hotels, Laundry and Dry Cleaner, Marinas, Medical and Dental Offices, Mini/Self-storage, Mortuaries, Motels, Nursing and Convalescent Home, ~~Outdoor Recreation and Park Facilities~~, Outdoor Sales Facility, Personal Service Establishments, Professional Offices, Professional Service Establishments, ~~Public~~ Parking Facility, Retail Businesses, *Places of Public Assembly*, Sports and Recreation Clubs, Studios for Performing and Graphic Arts, Theaters, Veterinary Clinics, Wholesale Facilities and similar uses in the judgment of the Zoning Administrator

Zoning Districts	Permitted Sign Types	Nº. Signs Permitted	Cumulative Sign Area	Lighting	Conditions
R-1 & R-2, R-3 & R-4	Wall, <i>Projecting</i> , Window, Ground, <i>Marquee</i>	n/a	16 Sq. Ft.	Internal	
C-1, C-2 C-3, R-2 & W-F With frontage on US 31	Ground, Pole	1	80 Sq. Ft.	Either	
	<i>Window</i>	<i>n/a</i>	<i>Unlimited</i>	<i>Internal</i>	<i>No Sign Permit required</i>
	<i>Portable Sign "A-frame Sign"</i>	<i>1</i>	<i>8 Sq. Ft.</i>	<i>None</i>	<i>No Sign Permit required. One per storefront and only allowed during hours of operation.</i>
	Wall, <i>Projecting</i> , <i>Marquee</i>	n/a	1.5 x of principal building width per Section 2102, A,7,a	Either	DO WE WANT TO LIMIT SIZE OF PROJECTING SIGNS???
C-1, C-2, & C-3 Not fronting on US-31	<i>Window</i>	<i>n/a</i>	<i>Unlimited</i>	<i>Internal</i>	<i>Window signs in the Historic District require approval from the Historic District Commission. Internally lit signs are prohibited in the Historic District</i>
	<i>Portable Sign "A-frame Sign"</i>	<i>1</i>	<i>8 Sq. Ft.</i>	<i>None</i>	<i>No Sign Permit required. One per storefront and only allowed during hours of operation.</i>
	Wall, Ground, <i>Projecting* Marquee</i>	n/a	1.5 x of principal building width per Section 2102, A,7, b	Either	Ground mount sign limited to one per parcel. Projecting signs limited to one per storefront and no greater than sixteen (16) sq. ft. in area Internally lit signs are prohibited in the Historic District.

C-2, C-3 & W-F Waterfront side	Wall, Ground**, Projecting, Window, Marquee	n/a	.75 x of principal building width per Section 2102,A,7,c	External	Ground mount sign limited to one per parcel on the waterfront no greater than sixteen (16) sq. ft. in area Projecting signs limited to one per storefront and no greater than sixteen (16) sq. ft. in area Lighting of ground mounts signs on the riverwalk shall be prohibited.
W-F Not fronting on US-31	Wall, Ground, Projecting* Window, Marquee	n/a	1.5 x of principal building width per Section 2102, A,7, b	Either	Projecting signs limited to one per storefront and no greater than sixteen (16) sq. ft. in area
LI & GI	Wall, Ground, Window, <i>Marquee</i>	n/a	<i>64 Sq. Ft.</i> 32 Sq. Ft.	Either	For parcels with more than 600 feet of frontage, one additional ground sign shall be permitted.

TABLE 2100-1 USE TYPES AND SIGN STANDARDS

Section 2109 Use Type 4, Institutional and Outdoor Recreational

Description Uses of this type include public and quasi-public facilities with varying traffic demand, as well as outdoor recreation facilities.

Examples of Uses Cemetery, Education Facility, Golf Courses, Places of Public Assembly, Civic and Government Buildings, and similar uses in the judgment of the Zoning Administrator

Zoning Districts	Permitted Sign Types	N ^o . Signs Permitted	Cumulative Sign Area	Lighting	Conditions
R-1 & R-2	Wall, Window, Ground	n/a	16 Sq. Ft.	Either	
R-3	Wall, Window, Ground, Marquee	n/a	32 Sq. Ft.	Either	
R-4	Uses of this type are normally not permitted in the R-4 District				
C-1	Wall, Window, Ground, Marquee	n/a	64 Sq. Ft.	Either	
C-2, C-3, & W-F	Wall, Window, Ground, Marquee	n/a	32 Sq. Ft.	Either	
L-1, & G-1	Wall, Window, Ground, Marquee	n/a	64 Sq. Ft.	Either	

[Annotation: This section was changed by adding Outdoor Recreational to Use Type 4, adding "as well as outdoor recreation facilities" to the Description and to adding Golf Courses to the Example of Uses by Amendment 07-19, effective 5/29/07]

TABLE 2100-1 USE TYPES AND SIGN STANDARDS

Section 2110 Use Type 5-3, Industrial
 Description Uses of this type include manufacturing, processing, shipping and transportation facilities.
 Examples of Uses Contractor’s Facility, Assembly Operation, Mining and Mineral Processing, Processing and Manufacturing, Research, Testing and Laboratories, Public Warehouses, and similar uses in the judgment of the Zoning Administrator

Zoning Districts	Permitted Sign Types	Nº. Signs Permitted	Cumulative Sign Area	Lighting	Conditions
R-1 & R-2	Uses of this type are normally not permitted in the R-1 or R-2 Districts				
R-3	Wall, Ground, Window	1	16 Sq. Ft.	External	
R-4	Uses of this type are normally not permitted in the R-4 District				
C-1	Wall, Ground	n/a	64 Sq. Ft.	Either	For parcels with more than 600 feet of frontage, one additional ground sign shall be permitted.
C-2 & C-3 & WF	Uses of this type are normally not permitted in the C-2 or C-3, & WF Districts				
WF, LI, G-1	Wall, Window, Ground, Marquee	n/a	64 Sq. Ft.	Either	For parcels with more than 600 feet of frontage, one additional ground sign shall be permitted.

SECTION 2112 TEMPORARY PORTABLE SIGNS

The Zoning Administrator shall be authorized to permit temporary and portable signs within any district of the City, under the following standards.

- A. *All signs shall be setback at least four (4) feet from the public right-of-way to the front of the sign structure, provided clear vision can be maintained, pursuant to Section 513. No temporary or portable sign shall be placed within a public or private right of way and shall be placed no closer to the right-of-way than ten (10) feet if located facing US-31 or a key street segment as defined herein, and no closer than five (5) feet to any other right of way. Provided, that the Zoning Administrator shall be authorized to require a greater distance to assure visibility for motorists and pedestrians and to assure compatibility with the surrounding land uses. Provided further, that “A-frame” signs shall be permitted in the C-2 and C-3 districts subject to a determination by the Zoning Administrator that said placement will not impact safety or visibility for motorists and pedestrians. Change makes set-back consistent with set-backs for all signage*