

# MANISTEE CITY PLANNING COMMISSION

Meeting of Thursday, March 1, 2018  
7:00 p.m. - Council Chambers, City Hall, 70 Maple Street,  
Manistee, Michigan

## AGENDA

### I Call to Order

### II Roll Call

### III Approval of Agenda

At this time the Planning Commission can take action to approve the March 1, 2018 Agenda.

### IV Approval of Minutes

At this time Planning Commission can take action to approve the February 1, 2018 meeting Minutes.

### V Public Hearing

#### **PC-2018-01 The Tabernacle, 77 Hancock Street & Vacant property– Special Use Permit Mixed Use Development**

A request has been received from The Tabernacle who have purchased the building at 77 Hancock Street and have a purchase agreement for the Vacant property NE corner of Hancock and First Street south of 77 Hancock Street for a Special Use Permit for a Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business.

At this time the Chair shall open the hearing.

The applicant shall present any comments and explanation of the case.

City staff shall present their report

The hearing will be opened for public comments

The hearing will be closed

### VI Public Comment on Agenda Related items

### VII New Business

#### **PC-2018-01 The Tabernacle, 77 Hancock Street & Vacant property– Special Use Permit Mixed Use Development**

A public hearing was held earlier in response to the request from The Tabernacle who have purchased the building at 77 Hancock Street and have a purchase agreement for the Vacant

property NE corner of Hancock and First Street south of 77 Hancock Street for a Special Use Permit for a Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business.

At this time the Planning Commission could take action to adopt a resolution to approve/approve with conditions/deny the request from The Tabernacle for a Special Use Permit for a Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business at 77 Hancock Street and parcel #51-448-729-11 (Vacant lot NE corner of Hancock and First Street).

#### **Resolution – Ray Fortier**

Ray Fortier served on the Planning Commission for over twenty years and as the Planning Commission Representative on the Zoning Board of Appeals for fourteen years. Mr. Fortier recently resigned from the Planning Commission. The Planning Commission wanted to recognize Mr. Fortier for his service on the commission and to the community.

At this time the Planning Commission could take action to adopt a resolution acknowledging Mr. Fortier for his service on the Commission and thanking him for his dedication to the commission and community.

#### **VIII Old Business**

#### **IX Public Comments and Communications**

At this time the Chair will ask if there are any public comments.

#### **X Correspondence**

At this time the Chair will ask if any correspondence has been received to be read into the record.

#### **XI Staff Reports**

At this time the Chair will ask Staff for their report.

#### **XII Members Discussion**

At this time the Chair will ask members of the Planning Commission if they have any items they want to discuss.

#### **XIII Adjournment**



## Memorandum

To: Planning Commissioners

FROM: Denise Blakeslee, Planning & Zoning Director

DATE: February 22, 2018

RE: March 1, 2018 Planning Commission Meeting

**Denise Blakeslee**  
**Planning & Zoning Director**  
70 Maple Street  
Manistee, MI 49660  
231.398.2805  
dblakeslee@manisteemi.gov  
www.manisteemi.gov

Commissioners, the next meeting of the Planning Commission will be on Thursday, March 1, 2018. We will welcome two new members Rochelle Thomas and Michael Szymanski.

We have the following items on the agenda:

### **PUBLIC HEARING**

**PC-2018-01 The Tabernacle, 77 Hancock Street & Vacant property– Special Use Permit Mixed Use Development** - A request has been received from The Tabernacle who have purchased the building at 77 Hancock Street and have a purchase agreement for the Vacant property NE corner of Hancock and First Street south of 77 Hancock Street for a Special Use Permit for a Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business.

### **NEW BUSINESS**

**PC-2018-01 The Tabernacle, 77 Hancock Street & Vacant property– Special Use Permit Mixed Use Development** - A public hearing was held earlier in response to the request from The Tabernacle who have purchased the building at 77 Hancock Street and have a purchase agreement for the Vacant property NE corner of Hancock and First Street south of 77 Hancock Street for a Special Use Permit for a Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business.

**Resolution – Ray Fortier** - Ray Fortier served on the Planning Commission for over twenty years and as the Planning Commission Representative on the Zoning Board of Appeals for fourteen years. Mr. Fortier recently resigned from the Planning Commission. The Planning Commission wanted to recognize Mr. Fortier for his service on the commission and to the community.

If you are unable to attend the meeting, please leave a message at 398.2805.

# CITY OF MANISTEE PLANNING COMMISSION

70 Maple Street  
Manistee, MI 49660

## MEETING MINUTES

February 1, 2018

A meeting of the Manistee City Planning Commission was held on Thursday, February 1, 2018 at 7pm in the Council Chambers, City Hall, 70 Maple Street, Manistee, Michigan.

Meeting was called to order at 7 pm by Chair Wittlieff

### ROLL CALL

Members Present: Marlene McBride, Bob Slawinski, Mark Wittlieff, Roger Yoder

Members Absent: Maureen Barry (excused), Vacancy (2)

Others: Denise Blakeslee (Planning & Zoning Director), Kelly McColl (Recording Secretary) and others

### APPROVAL OF AGENDA

Motion by Roger Yoder, seconded by Marlene McBride that the agenda be approved as prepared.

With a Roll Call vote this motion passed 4 to 0.

Yes: Slawinski, Yoder McBride, Wittlieff

No: None

### APPROVAL OF MINUTES

Motion by Marlene McBride, seconded by Bob Slawinski that the minutes of the January 4, 2018 Planning Commission Meeting be approved as prepared.

With a Roll Call vote this motion passed 4 to 0.

Yes: Yoder, Slawinski, McBride, Wittlieff

No: None

### PUBLIC HEARING

Chair Wittlieff opened the Public Hearing at 7:02 pm

**Denise Blakeslee, Planning and Zoning Director** - presented the ordinance amendment to the commission and public in attendance. The presentation highlighted the proposed changes:

Article 2: Definitions and Interpretation - Add definitions for Grower, Licensee, Marijuana or Marihuana, Marihuana Facility, Processor, Safety Compliance Facility and Secure Transport.

Under the State Law Medical Marihuana Facilities have to be permitted as either an Industrial or Agricultural Use. The current ordinance provides as an agricultural uses – Greenhouse and Nursery in the P-D Peninsula District, C-1 Regional Commercial District and L-I Light Industrial District. The Industrial use of processing and manufacturing are currently permitted in L-I Light Industrial District and G-I General Industrial District.

Article 3: Districts Dimensional Standards Uses Table and Zoning Map - Table 3-2 be AMENDED by ADDING Marihuana Grower, Marihuana processor, Marihuana Secure Transporter and Marihuana safety compliance facility as a Special Land Use in P-D Peninsula District, C-1 Regional Commercial District, L- I Light Industrial District, and G-I General Industrial District.

Article 4: Non Conformities - ADD Section 409 Marihuana Facilities

Article 6: P-D Peninsula District – Add Marihuana Grower, Marihuana Processor, Marihuana Secure transporter, Marihuana Safety Compliance Facility as a component (no more than 49%) of a Mixed Use Development as a Special Use.

Article 13: C-1 Regional Commercial District - Add Marihuana Grower, Marihuana Processor, Marihuana Secure transporter, Marihuana Safety Compliance Facility as a Special Use.

Article 16: Light Industrial District - Add Marihuana Grower, Marihuana Processor, Marihuana Secure transporter, Marihuana Safety Compliance Facility as a Special Use.

Article 17: General Industrial District - Add Marihuana Grower, Marihuana Processor, Marihuana Secure transporter, Marihuana Safety Compliance Facility as a Special Use.

The ordinance amendment does not provide for Provisioning Centers a.k.a. dispensaries

Article 18: Standards and Requirements for Special Land Uses – Add Section 8158 Marihuana Facilities. Language includes:

Definition

Regulations and Conditions

- Must be licensed by the State of Michigan and comply with all state regulations
- Must be in compliance with Chapter 866 Medical Marihuana Facilities all other applicable laws and ordinances of the City of Manistee.
  - Marihuana Growers and Marihuana Processors
  - Marihuana Safety Compliance Facility
  - Marihuana Secure Transporter
  - Odor Control System standards/regulations
  - Activities shall be conducted within the structure and out of public view.
  - All off-street parking shall be in compliance with Section 514
  - Landscaping and Buffering shall be provided in accordance with Section 531
  - All exterior lighting shall be in accordance with Section 525 (No illumination from the operation is permitted outside of the facility under Chapter 866 of the Codified Ordinance)

Chair Wittlieff opened the hearing for public comments.  
None

Chair Wittlieff asked if any correspondence had been received in response to the request.  
None

There being no additional comments from the public in attendance, Chair Wittlieff closed the public hearing at 7:08 pm.

**PUBLIC COMMENT ON AGENDA RELATED ITEMS**

None

**NEW BUSINESS**

**Zoning Ordinance Amendment Z18-03 - Medical Marihuana Facilities**

A Public Hearing was held in response to Zoning Ordinance Amendment Z18-03 - Medical Marihuana Facilities to allow for public input on the propose ordinance language.

MOTION by Roger Yoder, seconded by Marlene McBride to approve the Zoning Ordinance Amendment Z18-03 - Medical Marihuana Facilities.

With a Roll Call vote this motion passed 4 to 0.

Yes: Yoder, McBride, Slawinski, Wittlieff  
No: None

**OLD BUSINESS**

None

**PUBLIC COMMENTS AND COMMUNICATIONS**

None

**CORRESPONDENCE**

None

**STAFF REPORTS**

**Denise Blakeslee, Planning & Zoning Director** – A request for a Special Use Permit will be on the March Agenda. The applicant was unable to get the site plan completed for the February meeting.

## **MEMBERS DISCUSSION**

Commissioner Yoder asked that Denise not forget about the Master Citizen Planner Credits (CEU's) needed to maintain their certification. Denise advised that she has been looking into Webinars and should have something lined up before summer.

The next regular meeting of the Planning Commission will be held on Thursday, March 1, 2018.

## **ADJOURNMENT**

Motion by Roger Yoder, seconded by Marlene McBride that the meeting be adjourned. MOTION PASSED UNANIMOUSLY.

Meeting adjourned at 7:10 pm

MANISTEE PLANNING COMMISSION

---

Kelly McColl, Recording Secretary



# Memorandum

TO: Planning Commissioners  
FROM: Denise Blakeslee, Planning & Zoning Director  
DATE: February 22, 2018  
RE: The Tabernacle

Denise Blakeslee  
Planning & Zoning Director  
70 Maple Street  
Manistee, MI 49660  
231.398.2805  
dblakeslee@manisteemi.gov  
www.manisteemi.gov

We have received a request from The Tabernacle, 77 Hancock Street for a Special Use Permit for Mixed Use. The Mixed Use will include a Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business. The public hearing will be held at the March 1, 2018 Planning Commission Meeting.

The site plan for the project was sent to the City Engineer, DPW Director and Public Safety for their reviews on February 6, 2018. The Tabernacle's Engineer has been working on addressing outstanding concerns. Updated copies of the site plan will be mailed out early next week and may address some of the outstanding items from the reviews that are noted as follows:

**ZONING REVIEW** –site plan meets the requirements of the ordinance with the following exceptions:

Parking Notes: excerpt from Section 514.A

...All parking areas except for Dwelling Units for Single Family, duplex units and mobile homes; **the maximum number of parking spaces shall not exceed 1.5 times the minimum number of required parking spaces.** *Proposed parking will exceed required parking requirements by 38 spaces for phase I, will comply with phase II of the plan.*

Excerpt from Section 514.F Parking areas with ten (10) or more spaces **shall include designated pedestrian walkways** through the parking lot **in addition to landscaped planting islands** and perimeter buffers in accordance with [Section 531](#), in all instances where sufficient space is available. Landscape islands must meet the following size requirements: *Proposed parking does not include designated pedestrian walkways and the plans do not show landscaping within the islands.*

Landscaping Requirements – subject to Section 531: *Landscaping Plan not included with application reference Section 531 for standards.*

## CITY ENGINEER/DPW REVIEW

### Streets/ Access

1. Eliminating 3 Curb Cuts/Access from Hancock Street
2. Improving an existing access point on First Street with a 36' wide curb cut
3. Improvement of Hancock Street traffic flow by reduction in volume

4. Will provide controlled access at one location on First Street resulting in improved traffic flows on Hancock and First Street
5. Proposed concrete is 8" at sidewalk, greater than 6" Manistee minimum standard

#### **Water**

1. No additional water or fire services shown on the plans – Assume the building is serviced by existing water service (meter size?) **Need to update plans**
2. Is there adequate fire suppression? I see the existing building footprint is not increasing, just seating capacity is increasing in Phase II. **Note comments from Fire Dept below**

#### **Sanitary Sewer**

1. No sanitary sewer shown on plans
  - a. Existing sewer connection appears to be at existing Manhole in street off SW corner of building (8" Clay to the East)
  - b. Assume existing lead will continue to be used **Need to verify**
2. Engineer/ Architect should certify that stormwater/ roof water is not entering the sanitary sewer system **Need to verify**

#### **Storm Sewer**

1. Proposed Maximum Discharge Rate = 1.49 CFS (Existing Runoff from site?) **Need to verify**
  - a. Engineer should provide calculations for determination of this allowable release rate **Need to verify**
  - b. Verify peak discharge from site is not increased or does not exceed outlet sewer available capacity **Need to verify**
2. Stormwater Detention Basin sizing calculations have been provided and the basin is capable of storing a 100 – year recurrence event assuming a release rate of 1.49 CFS
3. Storm water roof leads are not shown on the plans. Engineer/Architect should confirm where existing roof water is being drained and if leads should be provided to collect this water. **Need to verify**
4. Storm Sewer Sizing Calculations have been provided and are capable of conveying 10 year recurrence storm events

**PUBLIC SAFETY** - In regards to the proposed Buckley Tabernacle project, the Fire Department finds:

**Building Interior/Exterior: *need to provide the following information below to the fire department and they must sign off that information is received including the installation of a Knox Box***

1. The fire suppression system will have to be completely gone over, extended where needed, inspected, passed, and tagged, prior to occupancy being granted. This includes the replacement of heads as needed.
2. The fire suppression system will have to have an engineer look at it, to ensure that it is sized appropriately for the fire loading and size of the building, engineer findings will need to be presented to the fire department. In the event that it is undersized, alterations must be made to ensure that it is capable of protecting the building.
3. An engineer needs to ensure that the available water supply is sufficient for the potential fire load of the building. Engineer findings need to be presented to the fire department. In the event that available water flow isn't sufficient, additional steps must be taken to ensure that enough water is available.
4. The FDC needs protective caps on it.
5. A Knox Box is required.
6. Full size, detailed drawings of the proposed construction of the building, including dimensions of the rooms, doors, etc. need to be provided to the fire department.

7. A fire alarm system, that meets current applicable codes, needs to be provided, revamped and/or extended where needed. This is subject to approval by the State Electrical Inspector, and the Fire Department before occupancy will be granted.
8. The proposed commercial kitchen needs to be equipped with fire suppression hoods, appropriate extinguishers, signage etc. as required by IMC and the Fire Department and must pass approval of both the IMC and the IFC prior to use.
9. Appropriate exit signs and emergency lights are needed in the building. Additionally, the location and number of exits available must meet current IBC and IFC.
10. Occupant load for assemblies within the building need to be determined and posted.
11. The building must be approved by all state agencies.

Site Plan:

1. No parking signs and curb painting required on both sides of the street to allow unimpeded fire department access from hydrant, to FDC. A space large enough to park a fire truck (100') is required on building side of Hancock St. so that a supply line can be stretched across Hancock St. to the fire truck and from the fire truck to the FDC. **Need to follow up**
2. Fire Access Lane is needed on the north side of the building. This needs to be paved, or at least of sufficient base to ensure drainage and support of the trucks weight, and maintained for fire department access during all four seasons. It must also provide a hammer head or other acceptable means to turn fire department apparatus around. **Need to include in site plan**
3. Is there the ability to move the detention pond, to allow for fire road access to the north east corner of the building? **Need to see if detention pond can be moved, if not explain why**
4. Is there the ability to shrink the islands for the lights in the parking lot to allow a larger turning radius? **Change in the size of the islands needs to be noted on the site plan if reduced**

In the past we have placed a condition that the Special Use Permit cannot be issued until any outstanding issues are completed. Using that precedence staff is recommending the following conditions if the Planning Commission were to approve the request:

- 1. The Applicant shall request to combine both parcels 51-448-732-10 & 51-448-729-11 into one parcel.**
- 2. Any concerns or outstanding items relating to the site plan by the City Engineer, DPW Director or Public Safety shall be address before the Special Use Permit can be issued and an updated set of plans be provided for the files.**

**CORRESPONDENCE:**

We received a response from the occupant at 86 Hancock Street in support of the request (attached)

***Any pages of the site plan that has revisions and review notes will be mailed early next week. The outstanding items list from the memo will also be updated for the packet.***



70 Maple Street, Manistee, MI 49660

www.mansiteemi.gov

CITY HALL  
70 Maple Street

City Manager  
231.398.2801

City Assessor  
231.398.2802

Planning, Zoning &  
Community Dev.  
231.398.2805

City Clerk  
231.398.2803

City Treasurer  
231.398.2804

Water Billing  
231.723.2559

Administration  
FAX 231.723-1546

Clerk/Treasurer  
FAX 231.723-5410

Police Department  
70 Maple Street  
231.723.2533  
FAX 231.398.2012

Fire Department  
281 First Street  
231.723.1549  
Fax 231.723.3519

Public Works  
280 Washington St.  
231.723.7132  
FAX 231.723.1803

Parks Department  
231.723.4051

Water Maintenance  
231.723.3641

Wastewater Plant  
50 Ninth Street  
231.723.1553

February 7, 2018

To Whom It May Concern:

The Michigan Zoning Enabling Act requires that Property Owners and Occupants within 300 feet of a Special Use Permit application be noticed by first class mail. This letter shall serve as your notice that City of Manistee Planning Commission will hold a Public Hearing in the Council Chambers, City Hall, 70 Maple Street, Manistee, Michigan to consider a request from:

APPLICANT: The Tabernacle  
P.O. Box 147  
Buckley, MI 49620

LOCATION

OF REQUEST: Parcel #51-448-732-10 – 77 Hancock Street  
Parcel #51-448-729-11 – Vacant property NE corner of Hancock and First Street south of 77 Hancock Street

ACTION

REQUESTED: Special Use Permit for Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business

DATE/TIME

OF HEARING: Thursday, March 1, 2018 at 7:00 p.m.

Interested parties are welcome to attend the hearing, or written comments with signature can be submitted to: Denise Blakeslee, Planning & Zoning Director, City of Manistee, 70 Maple Street, Manistee, MI 49660, (231) 398-2805.

A copy of the application is available for review on the City of Manistee Web Page [www.manisteemi.gov](http://www.manisteemi.gov) or at City Hall.

Sincerely,

CITY OF MANISTEE

Denise J. Blakeslee  
Planning & Zoning Director

*I support the Tabernacle*  
*Denise Blakeslee*

Site Plan Review  
R-3 High Density Residential District

Name of Owner: The Tabernacle				
Address/Parcel Code # 77 Hancock Street 51-448-732-10 / 51-448-729-11 (Vacant)				
Proposed Use: Mixed Use – Large Place of Public Assembly, Eating & Drinking Establishment and Retail				
> = Greater than < = Less than +/- = More or Less than	Requirements	Proposed	Compliance Yes No	
Commercial Minimum Lot Area Minimum Lot Width	10,000 sq. ft. 80 ft.	2.81 Acres +/- 657 feet +/- Hancock St 196 feet First Street	X	
Maximum Building Height	2 ½ stories, or 35 ft.	2 stories/26 feet	X	
Maximum Lot Coverage	60%	53.7%		
Front Yard Set Back	15 ft.	Existing Building	X	
Rear Yard Set Back:	10 ft.	10 ft to new parking	X	
Parking Requirements: Phase I (150 seats)	38 spaces	<b>1.5 X = 57 spaces</b> <b>Exceeds by 38 spaces</b>		<b>X</b>
Phase II +215 seats = 365 seats	92 spaces	95 spaces	X	
<p>Parking Notes: excerpt from Section 514.A            ...All parking areas except for Dwelling Units for Single Family, duplex units and mobile homes;  <b><u>the maximum number of parking spaces shall not exceed 1.5 times the minimum number of required parking spaces.</u></b> <b>Proposed parking will exceed required parking requirements by 38 spaces for phase I, will comply with phase II of the plan.</b></p> <p>Excerpt from Section 514.F Parking areas with ten (10) or more spaces <b><u>shall include designated pedestrian walkways</u></b> through the parking lot <b><u>in addition to landscaped planting islands</u></b> and perimeter buffers in accordance with <a href="#">Section 531</a>, in all instances where sufficient space is available. Landscape islands must meet the following size requirements:  <b>Proposed parking does not include designated pedestrian walkways and the plans do not show landscaping within the islands.</b></p>				
Signage – subject to Article 21: Building signage not included in site plan			n/a	
Landscaping Requirements – subject to Section 531: <b>Landscaping Plan not included with application reference Section 531 for standards.</b>				<b>X</b>
Outdoor Lighting Requirements – subject to Section 525:			X	
Zoning Review by: Denise Blakeslee, Planning & Zoning Director				
Compliance: <b>Items in red need to be addressed on Site Plan for Zoning Review/compliance Awaiting review from City Engineer, Department of Public Works and Public Safety</b>				
Approval:			Denial:	



**NOTICE OF PUBLIC HEARING  
City of Manistee Planning Commission**

The City of Manistee Planning Commission will hold a Public Hearing in the Council Chambers, City Hall, 70 Maple Street, Manistee, Michigan to consider a request from:

APPLICANT: The Tabernacle  
P.O. Box 147  
Buckley, MI 49620

**LOCATION**

OF REQUEST: Parcel #51-448-732-10 – 77 Hancock Street  
Parcel #51-448-729-11 – Vacant property NE corner of Hancock and First Street south of 77 Hancock Street

**ACTION**

REQUESTED: Special Use Permit for Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Business.

**DATE/TIME**

OF HEARING: Thursday, March 1, 2018 at 7:00 p.m.

Interested parties are welcome to attend the hearing, or written comments with signature can be submitted to: Denise Blakeslee, Planning & Zoning Director, City of Manistee, 70 Maple Street, Manistee, MI 49660, (231) 398-2805.

***A copy of the application is on the following pages***



Planning Commission/Planning & Zoning  
 City Hall  
 70 Maple Street  
 Manistee, MI 49660  
 231.398.2805 (phone)  
 231.723.1546 (fax)

## Special Use Permit Application

A Detailed Site Plan is required for all Special Uses  
 Please Print

Submission of Application	
<p><i>Applications must be submitted 30 days prior to the meeting for review for completeness.</i> Applications shall be submitted through the Zoning Administrator to the Planning Commission. Each application shall be accompanied by the payment of a fee <b>\$750.00</b> and any applicant escrow payments as required by <b>Section 2701</b> and in accordance with the schedule of fees adopted by the City Council to cover the costs of processing the application. An application shall be submitted to the Zoning Administrator on a Special Use application form. A Special Use application shall be placed on the agenda of the Planning Commission by the Zoning Administrator within thirty (30) days of the submission of a complete application prepared in accordance with this Zoning Ordinance. An application, which is incomplete or otherwise not in compliance with this Ordinance, shall be returned to the applicant. No application shall be processed until properly prepared and submitted and all required fees and escrow payments paid in full.</p>	
Property Information	
Address: <u>77 HANCOCK STREET</u>	Parcel # <u>51-448-732-10</u>
Applicant Information	
Name of Owner or Lessee: <u>THE TABERNACLE</u>	
Address: <u>P.O. BOX 147 BUCKLEY, MI 49620</u>	
Phone #: <u>231-824-0171</u>	Cell#: <u>231-642-1911</u> e-mail: <u>KIT.POTTER@THETABCHURCH.COM</u>
Name of Agent (if applicable): <u>KIT POTTER</u>	
Address: <u>671 FOREST LN BUCKLEY, MI 49620</u>	
Phone #:	Cell#: <u>231-642-1911</u> e-mail: <u>KIT.POTTER@THETABCHURCH.COM</u>
Data Required/Project Information	
Land Area:	Zoning Classification:
Present/proposed Land Use: <u>PLACE OF ASSEMBLY</u>	
Attach a Detailed Narrative for the following	
<input type="checkbox"/>	A letter or signed narrative describing in detail the proposed special use and detailing why the location selected is appropriate.
<input type="checkbox"/>	Applicant's statement of the expected effect of the special use on emergency service requirements, schools, storm water systems, sanitary sewer facilities, automobile and truck circulation patterns, and local traffic volumes.
<input type="checkbox"/>	Any additional material information necessary to consider the impact of the project upon adjacent properties and the general public as may be required by this ordinance, by the City Zoning Administrator or the Planning Commission; including, but not limited to, measures which will be undertaken to control soil erosion, shoreline protection, excessive noise, or adverse impacts of the development on the surrounding properties; elevations on all buildings, including accessory buildings; and, an environmental assessment.
<input type="checkbox"/>	Supporting statements, evidence, data, information and exhibits that address the standards and requirements for assessing Special Use permit applications as provided in <b>Section 1802</b> .

Additional Information		
<p>Any additional information deemed necessary for the Planning Commission to determine the impact of the proposed Special Use on the adjacent properties, public infrastructure, and community as a whole. Such information may take the form of, but is not limited to, a traffic impact analysis as required by <b>Section 2203, E, 2</b>, an environmental assessment as required by <b>Section 2203, E, 1</b>, a market study as required by <b>Section 2203, E, 3</b>, or reports and/or testimony by officials representing state, county or local departments of public safety (police and fire), health, highways or roads, and/or environment.</p>		
<p><b>Special Use review procedures.</b> An application for Special Use Approval shall be processed in accordance with <b>Section 1801.C.</b></p>		
<p><b>Issuance of a Special Use permit.</b> Special Use Permits shall be issued in accordance with <b>Section 1801.D.</b></p>		
<p><b>Appeals.</b> No decision or condition related to a Special Use application shall be appealed to the Zoning Board of Appeals. An appeal of a Special Use decision or condition may be taken to Circuit Court.</p>		
<p><b>Duration of Approval.</b> The Special Use permit shall become effective upon Planning Commission approval and in accordance with <b>Section 1801.F.</b></p>		
<p><b>Amendments.</b> Amendments to Special Use permits shall be handled in the same manner as the initial Special Use permit application. Minor non-substantive changes to a site plan in accordance with <b>Section 2208</b> may be made to an existing Special Use permit with the approval of the Zoning Administrator.</p>		
<p><b>Transfers.</b> Transfers shall be handled in accordance with <b>Section 1801.H.</b></p>		
<p><b>Expiration.</b> A Special Use permit shall be valid for as long as the approved use continues in accordance with the terms and conditions of the approved permit. The Special Use permit will expire on the occurrence of one or more of the following conditions:</p> <ol style="list-style-type: none"> <li>1. If replaced or superseded by a subsequent permitted use or Special Use permit.</li> <li>2. If the applicant requests the rescinding of the Special Use permit.</li> <li>3. If a condition of approval included stipulation to expire the Special Use permit by a certain date.</li> <li>4. If the use is abandoned, moved or vacated for a period of one year.</li> </ol>		
<p><b>Violations.</b> Violations shall be handled in accordance with <b>Section 1801.J.</b></p>		
Authorization		
<p><b>CERTIFICATION AND AFFIDAVIT:</b>            The undersigned affirm(s) that he/she/they is/are the <input type="checkbox"/> owner, <input type="checkbox"/> leasee, <input type="checkbox"/> owner's representative, <input type="checkbox"/> contractor involved in the application; and that the information included in this application is correct. Further, if the request is approved, the applicant will comply with all of the requirements of the City of Manistee Zoning Ordinance and certifies that measures proposed to mitigate adverse impacts will be completed in a timely fashion. The undersigned, by signing the Application, agrees to pay any and all fees and escrow payments in full as provided in <b>Article 27.</b></p>		
Signature: _____		Date: <u>2-2-18</u>
Signature: _____		Date: _____
<p><i>If applicant is Incorporated or a Limited Liability Corporation a copy of the Articles of Incorporation are to be submitted with application.</i></p>		
<p><input checked="" type="checkbox"/> By checking this box permission is given for Planning Commission Members to make a site inspection if desired.</p>		
<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Please indicate if the applicant will be tax exempt, applying and/or eligible for tax abatements, credits or deferments for this proposed project. If Yes, explain:</p>		
Office Use Only		
Fee: <input type="checkbox"/> \$750.00 <input checked="" type="checkbox"/> \$	Escrow Payment	Receipt #
Date Received:	Hearing Date:	PC -

## The Tabernacle of Buckley, Michigan

### **Narrative for Special Use Permit for Mixed Use Development that includes Large Place of Public Assembly with a commercial kitchen (Eating and Drinking Establishment) and Retail Space**

#### **A letter or signed narrative describing in detail the proposed special use and why the location selected is appropriate.**

The Tabernacle of Buckley, Michigan is requesting a Special Use Permit for a Place of Public Assembly to provide a worship/community center for the residents of Manistee County and surrounding areas. This location allows adequate space for weekly worship services, youth programs and community outreach.

The Tabernacle, formally known as Buckley Gospel Tabernacle, has been a part of the Buckley, Michigan community since 1920. Our primary focus is changed lives through loving God, loving people and a commitment to support both local and global outreach through a variety of programs and services.

Over the past 97 years, the Tabernacle has grown from a small congregation to one that reaches over 700 people through on-site Sunday services. Our online video and audio messages reach between 16,000-17,000 people weekly. Thousands more are reached through our wide-range of both local and world-wide programs and partnerships.

The Tabernacle provides youth programs that reach between 70-100 students weekly. These programs are designed to offer area youth the opportunity to build relationships, serve within their community and grow together in faith. The Tabernacle also works closely with local schools to provide counseling services on an as-needed basis. We sponsor several sports teams and provide financial support for PTO events, the summer school lunch program and the 'Christmas Gift Program' for children in need.

In addition, The Tabernacle offers a monthly community meals program, bi-weekly food pantry services and a yearly Thanksgiving meal distribution. During the months of October and November 2017, 1,000 local residents benefited from the Tabernacle Food Pantry, Community Meals and Thanksgiving Meal programs.

In-house and specialized local outreach care includes free Christian counseling services, funeral and wedding services, elderly/invalid care, hospitalization visits and bereavement support.

Other community outreach includes working in cooperation with Wexford/Grand Traverse County Freedom Builders Ministries to provide specialized skills related to carpentry, roofing and renovation. We also offer support to the local Alcohol Anonymous program offering meeting space, counseling services and on-site pastoral support, as

needed. In addition, The Tabernacle works in partnership with Love Inc., Cadillac and the National Food Coalition.

International outreach includes partnerships with both Compassion International and Samaritans Purse (Operation Christmas Child). The Tabernacle also sends ministry teams to Haiti two-three times per year.

The Tabernacle has had a substantial impact in the Buckley community through ongoing neighborhood improvement. We have spearheaded several local projects that have included the restoration of the local firehouse, which is now the youth center and the removal of several unusable trailers and buildings. These projects have provided employment opportunities for local craftsman and builders as well as improved the quality of life and home values in the Buckley area.

The Tabernacle's storied history, commitment to both community and world outreach and strong vision help make it a foundation in the town of Buckley. It's our hope that The Tabernacle can bring this same history of excellence and community support to the Manistee area.

Over the past year, The Tabernacle has been actively involved with Love Inc. - Manistee. We have donated \$2,500 to the Love Inc. program, as well as hosted a benefit at the Fillmore.

#### **Section 1868 Place of Public Assembly**

1. The property at 77 Hancock will provide ample space for weekly worship services, youth programs, community services and other outreach programs. The property will also provide for future expansion, based on congregation growth and the introduction of new programs.
2. It will provide a central meeting place for the above mentioned programs.
3. Any and all future changes will be compatible with adjacent land uses, the natural environment and be consistent with public health, safety and welfare policies of the City of Manistee.
4. Parking will include all required handicapped spaces and a handicapped-accessible ramp. These spaces and ramp are already in place – no changes will need to be made. Parking attendants will be on-site during Sunday morning services/special events to handle all parking-related issues as they arise.
5. Additional parking spaces will be added at the vacant property on SW corner of 1<sup>st</sup> and Hancock Street, to eliminate the need for street parking. This lot will include two-way entrance/exit access from First Street, to minimize traffic on Hancock. The property is currently being purchased.
6. Traffic flow during Sunday services and events will be arranged to allow for primary access from First Street. This will minimize excess traffic flow down Hancock and surrounding residential streets.
7. The proposed use would compliment the neighboring area and businesses by providing a viable use for the building.

8. The building and surrounding areas will be maintained in accordance to the regulations of the City of Manistee, which will add to property values to surrounding homes.
9. Dumpsters will be located in the appropriate area, emptied on a weekly basis and enclosed/locked as per all City of Manistee requirements.
10. The addition of better exterior lighting will provide a more secure property and thus create a safer surrounding area. This can include, but is not limited to, parking lot lights, wall sights and security lights. All changes to exterior lighting will be in compliance with all city ordinances.
11. All signage will comply with City of Manistee ordinances.
12. Care will be taken to maintain all landscaping, fencing and other outdoor areas on a regular basis within the character of adjacent properties. Any changes will comply with city permits and ordinances
13. All activities and programs will take place on a scheduled basis and will not exceed the city curfew.
14. A bike rack is currently in place. This bike rack will remain in it's location.
15. All fire/safety codes and inspections will be monitored and enforced in accordance to all current fire and safety regulations.
16. A request for a commercial kitchen is added to accommodate potential future community meals programs. All commercial kitchen codes and guidelines will be followed in accordance to on-site inspections and regulations.
17. The use of 77 Hancock as The Tabernacle Worship and Outreach Center will provide an ongoing positive impact for the local community by providing viable community services, youth programs and other services as needed.

## **Section 1858**

### **Mixed-Use Development**

The Tabernacle – Manistee is requesting the consideration of utilizing the property at 77 Hancock for future mixed-use development, that could include at Love Inc. Retail Store.

1. This proposed mix-use has the potential to provide valuable resources for the people of Manistee County by offering low-cost items such as furniture, household goods and clothing.
2. Use of the property at 77 Hancock for a Love Inc. Retail Store will be compatible with adjacent land uses, the natural environment and consistent with the public health, safety and welfare of City of Manistee residents. The mixing of uses will be consistent with all policies set forth in the City of Manistee Comprehensive Plan.
3. The development shall consolidate and maximize usable open space, whenever possible.
4. This proposed mixed use will not constitute a nuisance for local residence, both current and future, or the City in general.
5. Off-street parking is available for a retail store at the property at 77 Hancock. Additional parking spaces will be added at the vacant property on SW corner of

- 1<sup>st</sup> and Hancock Street, to eliminate the need for street parking. This lot will include two-way entrance/exit access from First Street, to minimize traffic on Hancock. The property is currently being purchased.
6. The proposed Mixed-Use Development shall be designed in a manner that will lead to compatible, efficient and attractive used of property in the City of Manistee and shall:
    - a. Encourage unique retail, office and residential use alternatives.
    - b. Continue and augment the City's traditional neighborhood patterns.
    - c. Establish neighborhood places that will define and strengthen the community character and supplement the identity of the City. Love Inc. has a strong community-based commitment that helps build relationships through offering much-need assistance to those in need.
    - d. Due to the size of this building, the addition of a Love Inc. Retail Store will help with the continuation of redeveloping this property into a usable, vital space for the City of Manistee.
    - e. Pedestrian-oriented development would not be a factor in the addition of a Love Inc. Store at this location.
  7. Vehicular and pedestrian circulation within the development will be safe, convenient, non-congested and well defined. Appropriate signage, directions, parking access, exterior lighting and entrance/exits will be clearly defined based on all codes and directives set forth by the City of Manistee.
  8. The installation of a Love Inc. Retail Store will not infringe unreasonably on any neighboring uses or residential homes.
  9. All signage will be in compliance with the provisions of Article 21 of this Ordinance.
  10. Landscaping and Buffering shall be provided in accordance with Section 531 of this Zoning Ordinance.

### **Section 1877 Retail Business**

1. All exterior lighting shall be in accordance with Section 525 hereof.
2. The Tabernacle-Manistee will comply with all reasonable site improvements required by the Planning Commission. This may include changes to ensure the proposed special use design is compatible with the framework of the existing neighborhood.
3. Site circulation patterns and access will be provided through access on 1<sup>st</sup> Street to a designated parking area. This parking area will lead directly to the entrance/exit area at the 77 Hancock property, thus eliminating the need for crossing roadways and street parking.
4. This retail business will comply with access from a key street, as designated by the requirements in the R-2 and R-3 districts. Access to the property on 77 Hancock will be from a main entrance of 1<sup>st</sup> Street directly to the main parking area.
5. All dumpster enclosure shall be in accordance with Section 506 of this Zoning Ordinance.

6. The Tabernacle- Manistee will follow all architectural design patterns as set forth by the Planning Commission related to R-2 and R-3 neighborhoods.
7. All outdoor signage will be in compliance with provisions of Article 21 of this Ordinance.
8. The Tabernacle – Manistee/Love Inc. will comply with any changes to hours of operation that may be established by the Planning Commission.
9. No off-street parking will be needed.
10. Landscaping and buffering shall be provided and completed in accordance with Section 531 of this zoning ordinance. Any future changes established by the Planning Commission will be honored.

### **SECTION 1835 Eating and Drinking Establishment**

**A. Definition** - A retail establishment selling food and drink for consumption on the premises, including restaurants, taverns, coffee houses, bakeries, lunch counters, refreshment stands and similar facilities selling prepared foods and drinks for immediate on-site consumption or for take-out.

#### **B. Regulations and Conditions -**

1. Such facilities shall maintain, at all times, all required state and local licenses and permits. The Tabernacle – Manistee will fully comply with all required licenses and permits as required by both state and local agencies.
2. The Tabernacle – Manistee will comply with all noise restrictions and design requirements related to these restrictions. 77 Hancock will be located and designed such that no objectionable noise in excess of 60 decibels shall be carried onto adjoining property zoned for, or occupied by, residential uses.
3. The Tabernacle- Manistee will comply with all odor and fumes restrictions and guidelines as related to properties located in the R-1, R-2 or R-3 districts.
4. All dumpster enclosures shall be in accordance with Section 506 of this Zoning Ordinance, so that any refuse or dumpster shall not be visible from any building, dwelling, adjacent property, or street. The Tabernacle- Manistee site plan will include measures satisfactory to the Planning Commission to control blowing trash, dust or debris from the facility. [Annotation: Changed to reflect Section 506 Dumpsters and Enclosures by Amendment Z17-05, effective 6/16/17]
5. The Planning Commission may establish reasonable hours of operation for eating and drinking establishments. The Tabernacle- Manistee will fully comply with any requirements set forth by the Planning Commission.
6. Within the R-2 and R-3 districts, Eating and Drinking Establishments shall front on and be accessed primarily from a key street segment, as defined herein. All access to 77 Hancock will take place through a main entrance located on First Street. This entrance will eliminate traffic and street parking issues related to Hancock Street.

7. All exterior lighting shall be in accordance with Section 525.
8. All signs shall be in compliance with the provisions of Article 21 of this Ordinance.
9. All parking shall be in compliance with the provisions of Section 514 of this Ordinance.
10. Landscaping and Buffering shall be provided in accordance with Section 531 of this Zoning Ordinance.

361 First Street  
Manistee, MI 49660  
T 231.723.1198  
F 231.723.1194

Benton Harbor, MI  
South Haven, MI  
South Bend, IN  
Fort Wayne, IN

## CERTIFICATE OF SURVEY

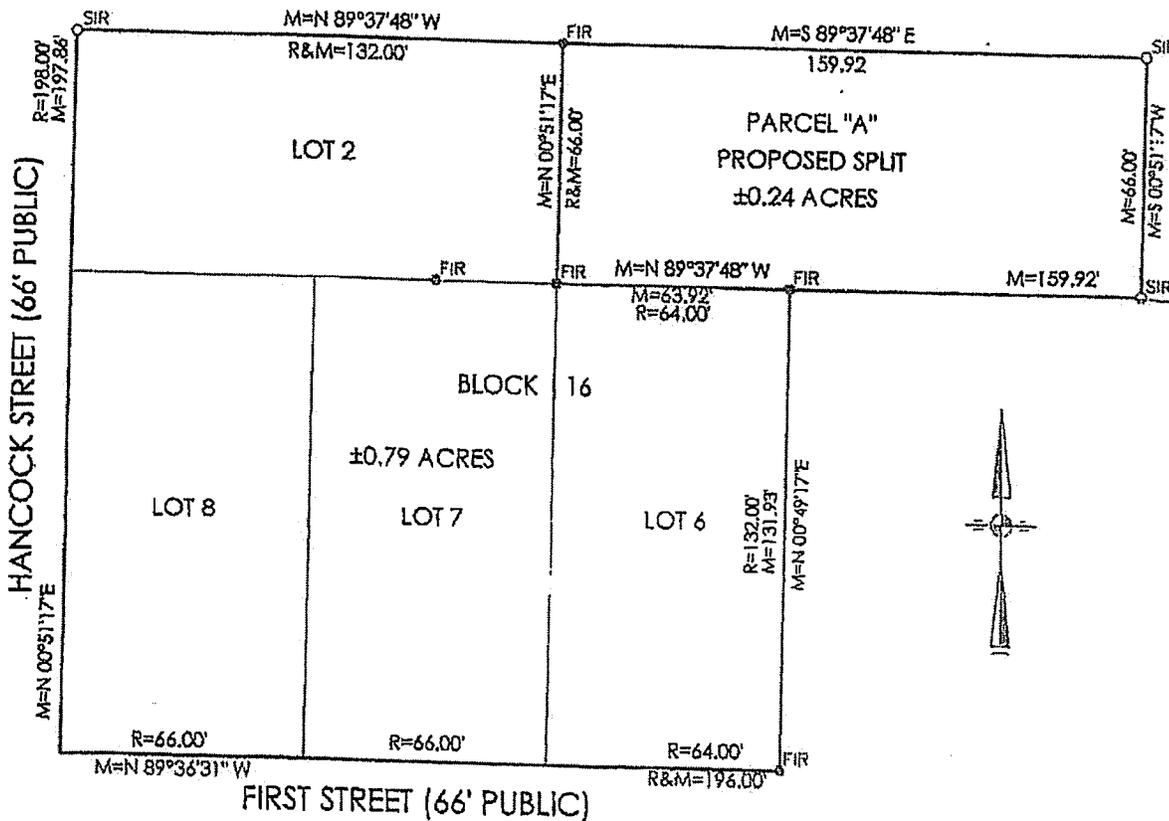
I, CRAIG R. STAPLEY, A LICENSED PROFESSIONAL SURVEYOR, NUMBER 46687, IN MICHIGAN, CERTIFY THAT THIS DRAWING IS AN ACCURATE REPRESENTATION OF A BOUNDARY SURVEY PERFORMED UNDER MY DIRECTION FOR THE FOLLOWING DESCRIBED PARCEL OF LAND:

LEGAL DESCRIPTION AS PROVIDED BY OWNER

FILER AND SMITHS ADDITION LOTS 6 & 7, BLOCK 16 AND LOTS 2 & 8 BLOCK 16, ACCORDING TO THE PLAT THEREOF, CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN.

PARCEL "A"

A PART OF THE RESERVES OF FILER AND SMITHS ADDITION CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF LOT 6, BLOCK 16; THENCE NORTH 00°51'17" EAST ALONG THE EAST LINE OF LOT 2 66.00 FEET; THENCE SOUTH 89°37'48" EAST 159.92 FEET; THENCE SOUTH 00°51'17" WEST 66.00 FEET; THENCE NORTH 89°37'48" WEST 159.92 FEET TO THE POINT OF BEGINNING, PARCEL CONTAINING 0.24 ACRES OF LAND MORE OR LESS.



LEGEND

- SIR SET 1/2" IRON ROD W/CAP #46687
- FIR FOUND 1/2" IRON ROD W/CAP #25850
- R RECORDED ON THE PLAT
- M MEASURED IN THE FIELD

February 2, 2018



The Tabernacle  
213 Wexford Ave  
Buckley, MI 49620

Re: Support of Manistee Campus

To whom it may concern,

The mission of Love INC of Manistee County is to mobilize the local church to meet needs and transform lives with the love of Christ. We were pleased to meet your pastors and some church members in the fall of 2017. We were motivated to learn of your desire to be an active church body in the Manistee community. Without support of the local church, Love INC of Manistee is not able to carry out our mission and meet needs of thousands of residents. Last year we served almost 1400 men, women and children because we have a caring community of church partners, volunteers and donors.

Your church immediately showed us your love for the people of Manistee by; setting up a benefit event to support Love INC at the Fillmore restaurant, by providing volunteers to serve through the ministry and most recently, by working collaboratively with us and other partner churches at the *ONE- A Night of Worship* concert held at the Ramsdell Regional Art Center.

As a ministry that has served the Manistee County residents for over 25 years, we see so many that are unchurched, hurting and in need of love. The Tabernacle is a needed church in our community that offers a fresh approach many will be drawn too. We are thrilled that you have purchased the building at 77 Hancock St. (the former PBX building) and are in full support of this site becoming your Tabernacle Manistee Campus. We anticipate great opportunities to partner in many ways that will strengthen the families we serve and the community as a whole.

Do not hesitate to call if there are any ways Love INC of Manistee can be of help.

Sincerely,

A handwritten signature in black ink, appearing to read "Robin Paulus", written over a white background.

Robin Paulus, Executive Director

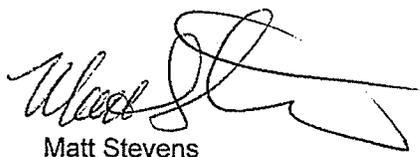
Matt Stevens - Owner  
Stevens Propane10900  
M-37 Highway  
Buckley, Michigan 49620  
800.672.7427

To whom it may concern -

As a local business owner and current member of The Tabernacle Board, I have had the privilege of seeing first-hand how this church impacts the lives of people in the Buckley-area and surrounding communities.

The Tabernacle is active in many areas of our local community. I have personally been involved in their Community Meals program, Food Pantry and Thanksgiving Meals Distribution. These programs have brought much-needed resources to those individuals and families who need critical nutrition support.

It's a privilege for me to offer my full support to The Tabernacle and their proposed church in the Manistee area.

A handwritten signature in black ink, appearing to read "Matt Stevens", with a stylized flourish extending to the right.

Matt Stevens

Chad Allen - Owner  
Allen's Truck Center  
101 W Wexford Ave  
Buckley, MI 49620  
(231) 269-3021 - Sales

To whom it may concern -

One of the many things that makes The Tabernacle special is how it brings people together through community involvement and a commitment to making the Buckley-area a better place.

I have had the chance to participate in many of the programs offered through The Tabernacle. Through this involvement, I have watched the lives of people be transformed through acts of caring and support.

This type of investment in people and the community is what makes The Tabernacle truly unique.

A handwritten signature in black ink, appearing to read 'Chad Allen', with a stylized, cursive script.

Chad Allen

January 20, 2018

Pete Yuresko - Manager  
Absolute Building Systems  
108 E Main St.  
P.O. Box 522  
Kingsley, MI 49649  
(231) 642-7644

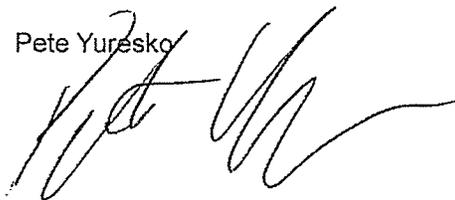
To whom it may concern -

As the manager of a local business and member of The Tabernacle, I would like to express my deep admiration and appreciation for what this church does for both the community and its members.

The Tabernacle is always willing to step in when help is needed and has a long history of community support and involvement. They are involved in a variety of community outreach programs that support families, children, students and the elderly.

The impact The Tabernacle has on Buckley-area and surrounding communities is immeasurable. I look forward to watching this commitment to community involvement continue in the Manistee area.

Pete Yuresko

A handwritten signature in black ink, appearing to read 'Pete Yuresko', written over the printed name.

Dennis Kuhn - Mayor  
Buckley, Michigan

To whom it may concern -

There are many words I could use to describe what The Tabernacle means to the Buckley community - unifying, committed, intentional, active, dedicated and impactful.

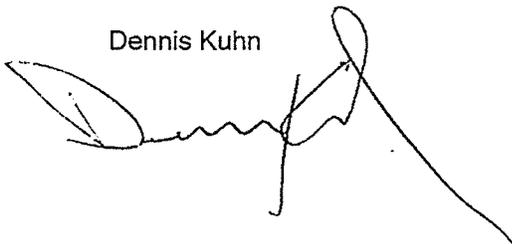
These words all convey the same meaning - a history of community involvement and presence that have made the Buckley area a better place to live, work and worship.

As mayor of Buckley, I have personally witnessed the impact The Tabernacle has had on this community through it's commitment to local programs such as Community Meals, Thanksgiving Meals Distribution, the Food Pantry, AA and addiction services, student and youth programming, elderly care and much more.

In addition to these programs, The Tabernacle is also active in community events, sporting programs, family support services and much more.

I have absolute certainty that The Tabernacle will show the same dedication, support and commitment to the Manistee-area community that it has in Buckley.

Dennis Kuhn

A handwritten signature in black ink, appearing to read 'Dennis Kuhn', with a large, stylized flourish extending from the end of the signature.

Beau Vore - Owner  
Kingsley Lumber  
311 S Brownson Ave  
Kingsley, MI 49649  
231-263-5570

To whom it may concern -

As a business owner and member of the Kingsley community, I would like to show my support for The Tabernacle and it's plan to open a location in the Manistee area.

The Tabernacle has been instrumental in providing much-needed support to local residents that include meal distribution, food pantry services, youth programming and volunteer building/renovations services through a partnership with Freedom Builders Ministries.

It's my belief that The Tabernacle will be an asset to the Manistee community.

Thank you for your time -

A handwritten signature in black ink, appearing to read 'Beau Vore', written in a cursive style.

Beau Vore



Feb 5, 2017

To whom it may concern,

Freedom Builders Missions operates in Northern Michigan to serve families with critical housing needs. This is accomplished by equipping local churches to make needed home repairs, which also gives an opportunity to serve the spiritual needs of the family.

Our service area covers 5 counties, and we have a core group of churches that we can always count on to meet the need. Before a request for assistance is placed, we *know* that these churches will rise to the occasion with more than enough volunteers and a welcoming spirit. This core group is elite in several ways: 1) they come with a humble and approachable attitude, 2) they understand that the physical need is critically important to the family being served, and 3) they serve in any environment with authentic joy.

It has been our privilege to include the Tabernacle of Buckley in this elite, core group. Freedom Builders Missions considers the Tabernacle to be one of our 'Special Ops' churches covering the southern boundary of our service region. There is a consistent willingness to serve the surrounding community in ways that sometimes are, frankly, unpleasant. Handling critical housing repairs means that you will be walking directly into a mess, not only physically, but often emotionally as well. From both the Tabernacle leadership and the members/ congregants, the situation is *always* approached with a positive, helpful, non-condemning tone.

I can personally attest that many families have been welcomed into the Tabernacle family through these repair projects. Not only has the physical need been met, but a deeper, longer-lasting spiritual need begins to be addressed. When that spiritual need is met in an authentic way by genuine people doing their imperfect best to represent Jesus, families are transformed. Fathers begin to love their families better, kids understand what a real Father's love looks like, wives feel supported and valued, and the list goes on and on. When many families experience this, neighborhoods are transformed, and then whole communities become an encouraging place to live.

It is an honor to serve northern Michigan dutifully alongside the Tabernacle church. Freedom Builders Missions would be unable to accomplish our mission without people like those of the Tabernacle willing to get outside the walls of the church. Buckley and the surrounding area is different because of God's love shown tangibly by this church and its leadership.

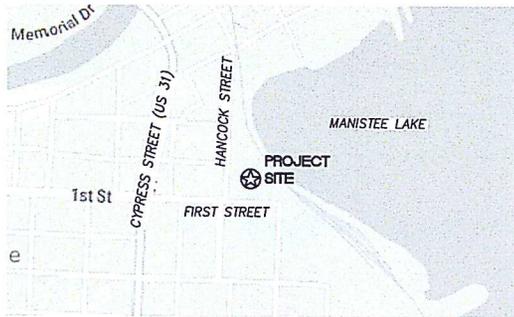
Respectfully,

Ben Brown  
Operations Director  
Freedom Builders Missions

POBox 309, Traverse City, MI 49685, 231-941-4171

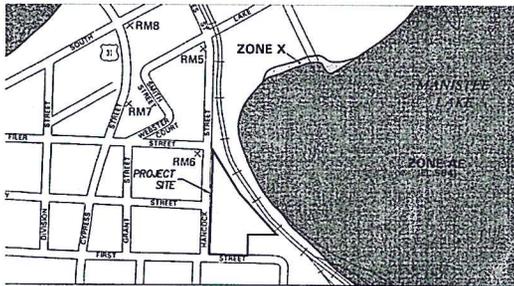
# TABERNACLE CHURCH PARKING EXPANSION

77 HANCOCK STREET, CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN



**PROJECT SITE VICINITY MAP**  
(NOT TO SCALE)

MADE OBTAINED FROM: GOOGLE MAPS

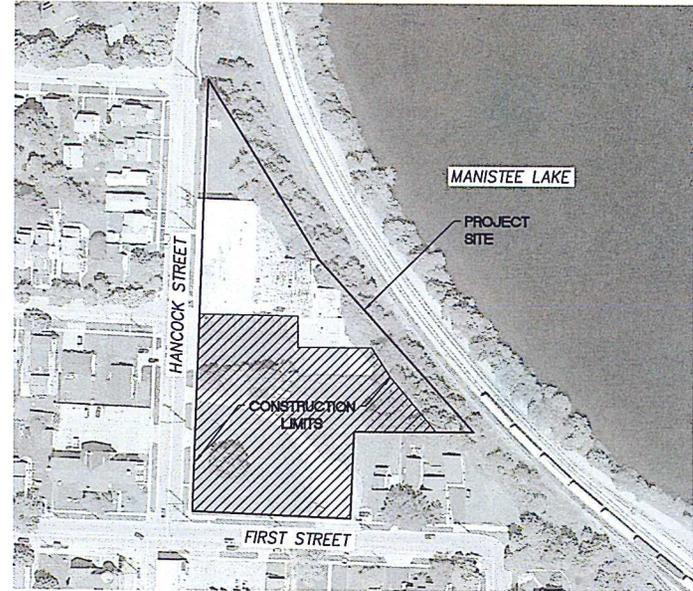


PROJECT LIES WITHIN "OTHER AREAS, ZONE X; AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD"

**FEMA FLOOD INSURANCE RATE MAP (FIRM)**  
(NOT TO SCALE) MAP NO. 2601310001B  
EFFECTIVE DATE: 03-18-1997

### UTILITY INFORMATION

UTILITY LOCATIONS ARE TAKEN FROM SUBSTANTIAL ABOVE GROUND EVIDENCE AND APPROXIMATED FROM RECORD AS-BUILTS MADE AVAILABLE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, HYDRANTS, VALVES, UTILITY PEDSTALS AND BOXES, AND MARKS/FLAGS SET ON THE GROUND SURFACE BY OTHERS). PIPE DEPTHS HAVE BEEN MEASURED WITH AS MUCH ACCURACY AS CAN BE ACHIEVED WITHOUT COMPROMISING SPACE ENTRY. THERE MAY BE OTHER UTILITIES EXISTING BELOW GROUND THAT WERE NOT MARKED BY OTHERS AND HAVE BEEN LEFT ABOVE GROUND. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES AND PIPING AS NECESSARY PRIOR TO ANY AND ALL CONSTRUCTION. CONTACT ENGINEER IF ANY DISCREPANCIES DISCOVERED.



**PROJECT AERIAL MAP**  
NOT TO SCALE

MADE OBTAINED FROM: GOOGLE EARTH

### TABLE OF CONTENTS

C0.0	COVER SHEET
C0.1	EXISTING CONDITIONS PLANS
C1.0	SITE DEVELOPMENT PLAN
C2.0	GRADING AND DRAINAGE PLAN
C2.1-C2.2	DRAINAGE DETAILS AND CALCULATIONS
C3.0	LIGHTING PLAN
C4.0-C4.1	CONSTRUCTION DETAILS
C5.0-C5.2	EROSION CONTROL PLAN
A1.0	EXISTING FIRST FLOOR PLAN
A1.1	EXISTING SECOND FLOOR PLAN
A2.0	PHASE II FIRST FLOOR PLAN

### OWNER

TABERNACLE CHURCH  
P.O. BOX 147  
BUCKLEY, MI 49628  
(231) 655-9467

### CIVIL ENGINEER

ABONMARCHÉ CONSULTANTS, INC.  
361 FIRST STREET  
MANISTEE, MI 49660  
(231) 723-1198

**ABONMARCHÉ**  
361 First Street  
Manistee, Michigan 49660  
P: 231.723.1198  
F: 231.723.1199  
abonmarche.com

**TABERNACLE CHURCH  
PARKING EXPANSION**  
77 HANCOCK STREET  
MANISTEE, MI 49660

COVER SHEET

PROJECT: \_\_\_\_\_  
SHEET: \_\_\_\_\_  
DRAWN BY: EG  
DESIGNED BY: EG  
IN FIELD BY: DSK  
CHECKED BY: DSK  
DATE: 07-05-18  
MAIL: \_\_\_\_\_  
  
SCALE: \_\_\_\_\_  
DATE: 02-05-2018  
HORIZ: \_\_\_\_\_  
VERT: \_\_\_\_\_  
JOB NO: \_\_\_\_\_  
18-0034  
SHEET NO: \_\_\_\_\_  
**C0.0**

NO.	REVISION DESCRIPTION	BY	DATE

TOTAL LOT AREA: 122271 SQ./FT. (2.81 ACRES)  
 BUILDING FOOTPRINT AREA: 25759 SQ./FT. (0.59 ACRES)

EXISTING LOT COVERAGE:  
 TOTAL LOT AREA: 122271 SQ./FT.  
 EXISTING BUILDING: 25759 SQ./FT.  
 LOT COVERAGE: 21.05%  
 EXISTING HARD SURFACE: 11814 SQ./FT.  
 LOT COVERAGE: 9.6%  
 PARKING CONTAINS 14 SPACES  
 EXISTING OPEN SPACE: 84618 SQ./FT.  
 LOT COVERAGE: 69.4%

FILER STREET (66' PUBLIC)

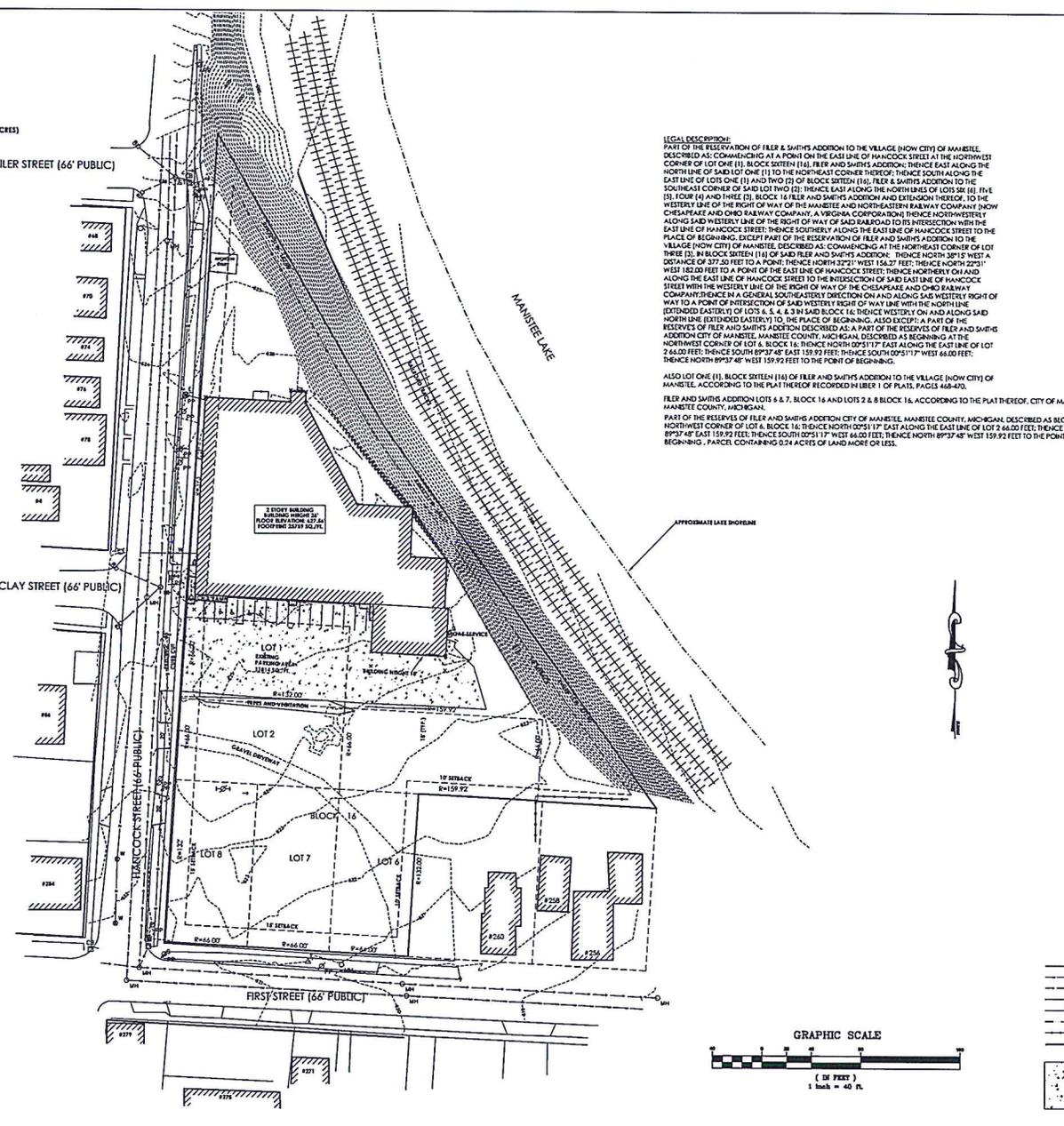
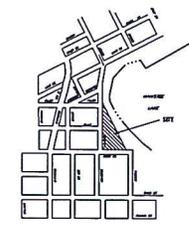
CLAY STREET (66' PUBLIC)

HANCOCK STREET (66' PUBLIC)

1 EXISTING BUILDING  
 BUILDING FOOTPRINT AREA:  
 25,759 SQ. FT.

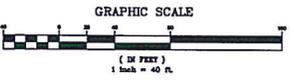
**LEGAL DESCRIPTION:**  
 PART OF THE RESERVATION OF FILER & SMITHS ADDITION TO THE VILLAGE (NOW CITY) OF MANISTEE, DESCRIBED AS COMMENCING AT A POINT ON THE EAST LINE OF HANCOCK STREET AT THE NORTHWEST CORNER OF LOT ONE (1), BLOCK SIXTEEN (16), FILER AND SMITHS ADDITION; THENCE EAST ALONG THE NORTH LINE OF SAID LOT ONE (1) TO THE NORTH-EAST CORNER THEREOF; THENCE SOUTH ALONG THE EAST LINE OF LOT ONE (1) AND TWO (2) OF BLOCK SIXTEEN (16), FILER & SMITHS ADDITION TO THE SOUTHEAST CORNER OF SAID LOT TWO (2); THENCE EAST ALONG THE NORTH LINES OF LOTS SIX (6), FIVE (5), FOUR (4) AND THREE (3), BLOCK 16, FILER AND SMITHS ADDITION AND EXTENSION THEREOF, TO THE WESTERN LINE OF THE RIGHT OF WAY OF THE MANISTEE AND NORTH-EASTERN RAILWAY COMPANY (NOW CHESAPEAKE AND OHIO RAILWAY COMPANY, A VIRGINIA CORPORATION); THENCE NORTHWESTERLY ALONG SAID WESTERN LINE OF THE RIGHT OF WAY OF SAID RAILROAD TO ITS INTERSECTION WITH THE EAST LINE OF HANCOCK STREET; THENCE SOUTHERLY ALONG THE EAST LINE OF HANCOCK STREET TO THE PLACE OF BEGINNING, EXCEPT PART OF THE RESERVATION OF FILER AND SMITHS ADDITION TO THE VILLAGE (NOW CITY) OF MANISTEE, DESCRIBED AS COMMENCING AT THE NORTH-EAST CORNER OF LOT THREE (3), BLOCK SIXTEEN (16) OF SAID FILER AND SMITHS ADDITION. THENCE NORTH 30°15' WEST A DISTANCE OF 372.20 FEET TO A POINT; THENCE NORTH 22°15' WEST 164.27 FEET; THENCE NORTH 22°15' WEST 182.00 FEET TO A POINT ON THE EAST LINE OF HANCOCK STREET; THENCE NORTHERLY ON AND ALONG THE EAST LINE OF HANCOCK STREET TO THE INTERSECTION OF SAID EAST LINE OF HANCOCK STREET WITH THE WESTERN LINE OF THE RIGHT OF WAY OF THE CHESAPEAKE AND OHIO RAILWAY COMPANY; THENCE IN A GENERAL SOUTHEASTLY DIRECTION ON AND ALONG SAID WESTERN RIGHT OF WAY TO A POINT OF INTERSECTION OF SAID WESTERN RIGHT OF WAY LINE WITH THE NORTH LINE (EXTENDED EASTERLY) OF LOTS 8, 5, 4, & 3 IN SAID BLOCK 16; THENCE WESTERLY ON AND ALONG SAID NORTH LINE (EXTENDED EASTERLY) TO THE PLACE OF BEGINNING, ALSO EXCEPT A PART OF THE RESERVES OF FILER AND SMITHS ADDITION DESCRIBED AS A PART OF THE RESERVES OF FILER AND SMITHS ADDITION CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF LOT 6, BLOCK 16, THENCE NORTH 00°51'17" EAST ALONG THE EAST LINE OF LOT 2 64.02 FEET; THENCE SOUTH 89°37'48" EAST 159.93 FEET; THENCE SOUTH 00°51'17" WEST 66.00 FEET; THENCE NORTH 89°37'48" WEST 159.93 FEET TO THE POINT OF BEGINNING.

ALSO LOT ONE (1), BLOCK SIXTEEN (16) OF FILER AND SMITHS ADDITION TO THE VILLAGE (NOW CITY) OF MANISTEE, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 468-470, FILER AND SMITHS ADDITION LOTS 6 & 7, BLOCK 16 AND LOTS 2 & 8, BLOCK 16, ACCORDING TO THE PLAT THEREOF, CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN.  
 PART OF THE RESERVES OF FILER AND SMITHS ADDITION CITY OF MANISTEE, MANISTEE COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF LOT 6, BLOCK 16, THENCE NORTH 00°51'17" EAST ALONG THE EAST LINE OF LOT 2 64.02 FEET; THENCE SOUTH 89°37'48" EAST 159.93 FEET; THENCE SOUTH 00°51'17" WEST 66.00 FEET; THENCE NORTH 89°37'48" WEST 159.93 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINING 0.24 ACRES OF LAND MORE OR LESS.



**STANDARD LEGEND**

- CB = CATCH BASIN
- CCB = CURB CATCH BASIN
- EM = ELECTRIC MANHOLE
- EMeter = ELECTRIC METER
- FH = FIRE HYDRANT
- FM = FOUND MONUMENT
- FRP = FOUND IRON PIPE
- FRD = FOUND IRON ROD
- GL = GAS LOCATION
- GM = GAS MANHOLE
- GMeter = GAS METER
- GV = GAS VALVE
- GMH = GENERAL MANHOLE
- OP = OILY POLE
- OT = OILY TIRE
- LP = LIGHT POLE
- PP = POWER POLE
- PPW = POWER POLE W/DROP
- UPW = UTILITY POLE W/STREET LIGHT
- SM = SANITARY MANHOLE
- SMH = STORM MANHOLE
- T = TELEPHONE LOCATION
- TMH = TELEPHONE MANHOLE
- TP = TELEPHONE PEDESTAL
- TPole = TELEPHONE POLE
- UP = UTILITY POLE
- UPW = UTILITY POLE W/DROP
- UPWST = UTILITY POLE W/STREET LIGHT
- WC = WATER CURB STOP
- WL = WATER LOCATION
- R = RECORDED
- EWL = EXISTING WATER MAIN
- ESW = EXISTING SANITARY SEWER
- ESR = EXISTING STORM SEWER
- GLM = GAS MANHOLE
- E = ELECTRICAL
- ELM = EXISTING ELECTRICAL
- CP = CHIMNEY FLUE
- R = ROUGH
- EP = EXISTING PAVEMENT



**ABONMARCHÉ**  
 CONSULTANTS & ENGINEERS  
 1000 W. HANCOCK STREET  
 MANISTEE, MI 49660  
 TEL: 268-1111  
 FAX: 268-1112

THE TABERNACLE  
 P.O. BOX 147  
 BUCKLEY, MI. 49628

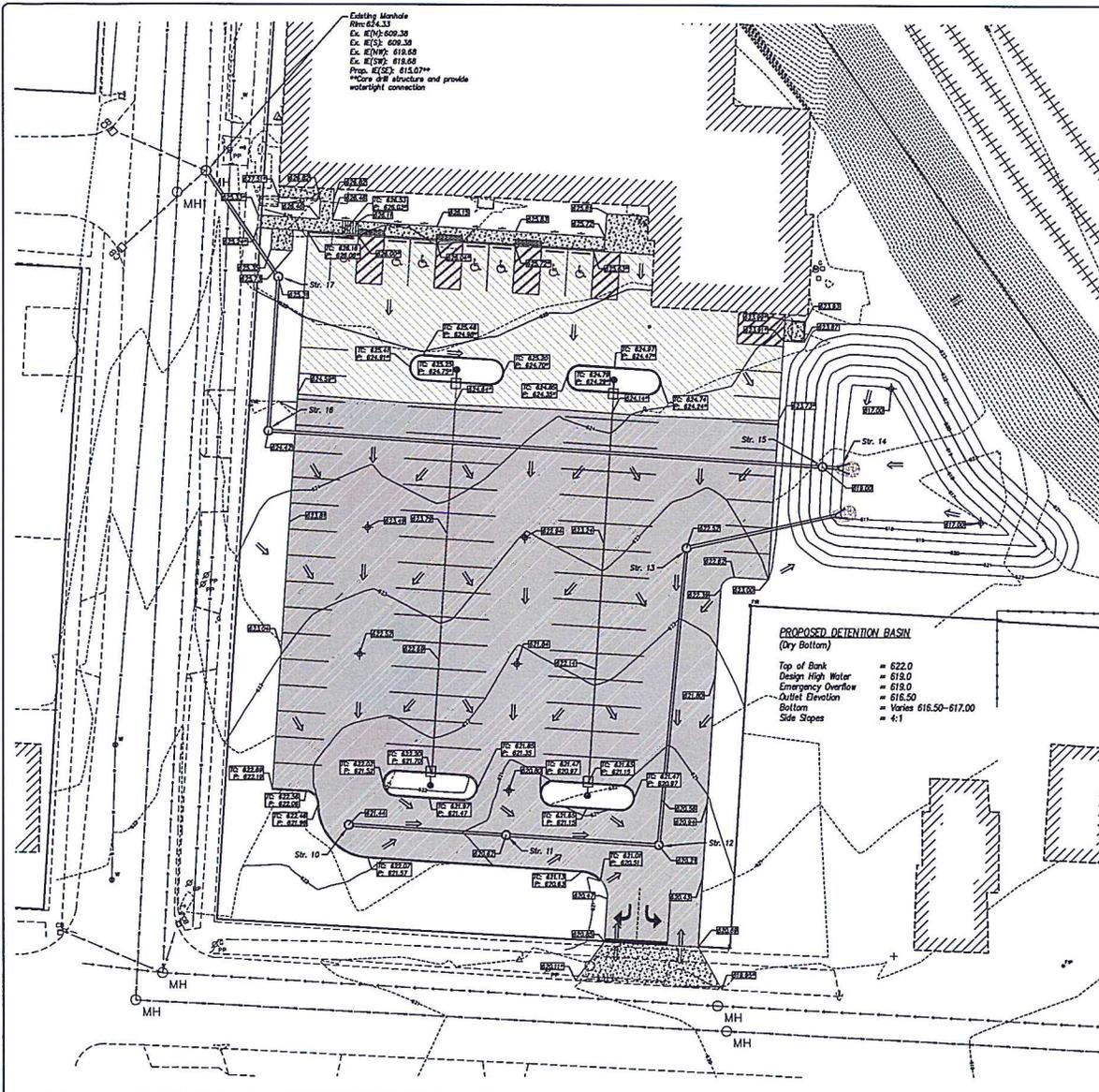
PROJECT:  
 EXISTING CONDITIONS SITE PLAN  
 77 HANCOCK STREET  
 MANISTEE, MI. 49660

DATE: 1/8/18  
 SCALE:

DATE:  
 HORIZONTAL SCALE: 1"=40'  
 VERTICAL SCALE: NONE  
 JOB NO: 18-0034  
 SHEET NO: C0.1

NO. REVISION DESCRIPTION: \_\_\_\_\_





**GENERAL NOTES**

- Construction, Materials, and Testing shall conform to the requirements of City of Manitowish.
- Contractor shall request utility locates through MISS DIG 811 and also contact of utility companies prior to construction to confirm locations of underground utilities. Any damages to any public and/or private properties during construction shall be repaired at the Contractor's expense.
- Unavailable materials that could affect the integrity of the pipes and/or pavement shall be properly treated.
- Any removed and/or disturbed pavement, shall be replaced using the same type of material and brought back to its original grade and alignment.
- No closing of streets shall be permitted without prior approval from City of Manitowish.
- Contractor shall take all necessary precautions to protect the work and safety of the public and provide, erect, and maintain all necessary barricades, suitable and sufficient lights, danger signs, signs, and other traffic control devices in accordance with the Indiana Manual on Uniform Traffic Control Devices for Streets and Highways.
- All backfill for pipe trenches and all grading shall be suitable granular material and be performed in 6-inch lifts maximum and compacted to 100% Standard Proctor to proposed subgrade. Pipe bedding shall be in accordance with the pipe manufacturer and ASTM D-2321 for flexible and rigid pipe, as well as the pipe bedding detail on Sheet 7. Compaction testing shall be done by a qualified soil testing firm approved by the General Contractor.
- Contractor shall verify the water table and include in the bid the cost for dewatering. The water table shall be lowered to 24 inches below the pipe invert prior to installation.
- Water and sewer pipes shall have a minimum horizontal separation of 10 feet from edge of pipe to edge of pipe. Whenever water pipes must cross above or below sewer pipes, a minimum vertical separation of 18 inches is required between the outside of the water pipe and the outside of the sewer pipe. If this cannot be met, the sewer pipe shall be constructed of water grade pipe meeting APWA Standards for a distance of 10 feet each side of the water pipe. All crossings, one full length of water pipe shall be installed so that joints are as far from sewer pipe as possible.
- Discrepancies or conflicts in the plans and/or site conditions shall be communicated to the General Contractor / Engineer to ensure that clarifications and/or revisions can be made prior to construction.
- Contractor shall supply As-Built Record Drawings to the Owner/Developer and Engineer upon completion of work.

**STORM SEWER NOTES**

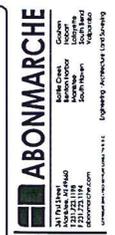
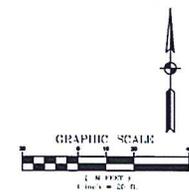
- Storm sewer material shall be corrugated smooth-lined HDPE. Pipe shall be bedded as required for pipe material, and backfilled with clean suitable granular material and compacted in accordance with General Note #7 on this plan.
- Pipe lengths are measured to the outside of structure.

**GRADING NOTES**

- Contractor shall follow the Erosion Control Plan on Sheets C5.0-C5.2.
- All topsoil shall be removed and stockpiled onsite at a location approved by the Owner. A minimum of four (4) inches of topsoil shall be placed on all disturbed areas outside the building and parking areas.
- Topsoil shall not be placed on the bottom and sides of the detention basin. The bottom shall remain existing soil while the basin shall receive a sand mixture (See Sheet C2.1 for bank detail).
- All exposed subgrade shall be proof-rolled and witnessed by a Geotechnical Engineer or qualified representative to determine unsuitable soil locations prior to any paving operations. Any unsuitable soil shall be removed, backfilled, and compacted with suitable material in accordance with the plans and capable of supporting the anticipated loadings of the project.
- Positive drainage shall be maintained to prevent any ponding of water or encroachment onto adjacent properties.
- Finish grade of all building downways equals the building finish floor elevation unless otherwise noted.

**DRAWING LEGEND**

- STR # Storm Sewer Structure Number
- Existing Finished Grade / Rim Elevation
- Existing Elevation
- TC Top of Curb Elevation
- P Finished Pavement Elevation
- Grading and Drainage Flow Direction

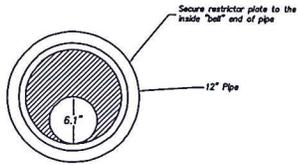


**TABERNAACLE CHURCH  
 PARKING EXPANSION**  
 77 HANCOCK STREET  
 MANITOWISH, WI 53150

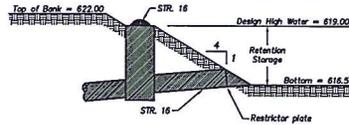
**GRADING AND DRAINAGE PLAN**

DATE: 07-05-18  
 SEAL: [Signature]  
 ENGINEER: DARYL S. DINE  
 No. 201044343  
 PROFESSIONAL ENGINEER  
 STATE OF WISCONSIN  
 DATE: 02-05-2018  
 SCALE: HORIZ: 1" = 20'  
 VERT: AS SHOWN  
 PROJECT: 18-0034  
 SHEET: C2.0

NO.	REVISION DESCRIPTION	BY	DATE



**RESTRICTOR PLATE DETAIL**  
(NOT TO SCALE)



**DETENTION OUTLET DETAIL**  
(NOT TO SCALE)

**STORM SEWER CASTINGS**

All castings shall be stamped with the "A" image and lettering "DUMP NO WASTE - GRAVIC TO HIGHWAYS"  
**STRUCTURES 10 thru 14 (open grate casting)**  
 EJM 1020 or approved equal  
**STRUCTURE 16 (beehive casting)**  
 EJM 1130 or approved equal  
**STRUCTURES 17 & 18 (solid casting)**  
 EJM 1825 or approved equal

- NOTES:**
1. Casting numbers reference East Jordan Iron Works. Other approved equal may be acceptable.
  2. Submit to the Owner/Developer for consideration.
  3. All manhole frames and covers shall be of gray iron free from any blowholes, etc., and shall conform to ASTM Designation A-48.
  4. Frames and covers shall be rated for H20 and H20S loading conditions (16,000 lbs) as designated in AASHTO Standard Specifications for Highway Bridges.

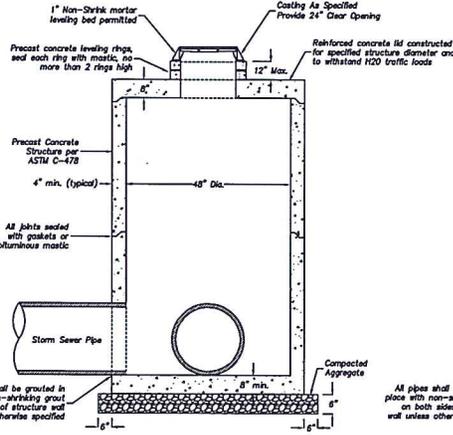
**ORIFICE PLATE SIZING**

Orifice Flow Calculation per HEC-22, Equation B-17

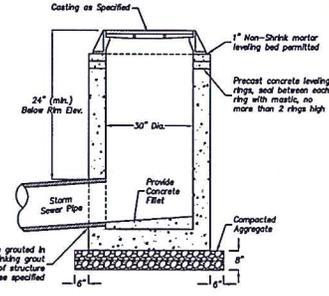
$$Q = C \times A \times (2gh)^{0.5}$$

Diameter = 6.1 in  
 Area = 0.23 sqft  
 Cd = 0.61  
 g = 32.2 ft/sec<sup>2</sup>  
 Head difference = 2.25 feet

Flow, Q = 1.49 cfs



**STANDARD 48" STORM MANHOLE**  
(NOT TO SCALE)



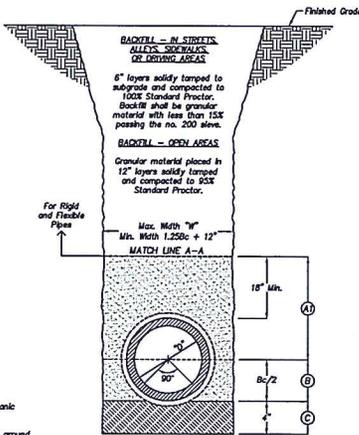
**STANDARD 30" DIA. STORM INLET**  
(NOT TO SCALE)

**PAVEMENT SUBGRADE / PIPE BEDDING AND BACKFILL DETAIL APPLIES TO ALL UTILITY PIPING**

1. Hand placed backfill and mechanically tamped in 6" layers using suitable granular material.
2. Crushed stone or gravel conforming to ASTM D-2321 Class I or II material, installed in 4" balanced lifts and mechanically tamped.
3. Hand placed backfill and mechanically tamped in 4" layers using suitable granular material.
4. Pipe shall be bedded firmly on undisturbed ground, gravel or sand, no weight shall be supported by the base.
5. Pipe shall be bedded on a minimum 4" of Class I, II, or III material per ASTM D-2321.

**NOTES:**

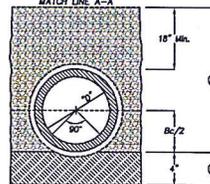
1. Backfill material shall be free from debris, organic material, stones, frozen material, etc.
2. All pipe bedding material shall be hand placed around the haunch and sides of the pipe to ensure proper compaction and complete filling of all voids.



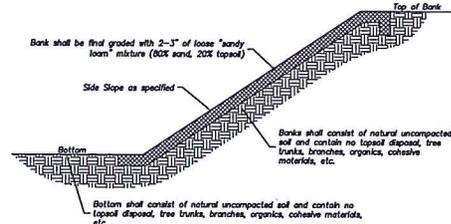
**RIGID PIPE BEDDING DETAIL**  
(RCP & DI)  
(NOT TO SCALE)

PIPE DIA.	"w"
6"	18"
8"	24"
10"	24"
12"	30"
15"	35"
18"	39"
21"	42"
24"	45"
27"	49"
30"	53"
36"	66"
42"	75"
48"	82"

An allowable "w" of 30" will be permitted where depth of cut exceeds 12 ft and extra strength pipe is specified.  
 D = Pipe diameter (internal)  
 Dc = Pipe diameter (external)



**FLEXIBLE PIPE BEDDING DETAIL**  
(PVC, CMP, HDPE)  
(NOT TO SCALE)



**DETENTION BASIN BANK DETAIL**  
(NOT TO SCALE)

**ABONMARCHÉ**  
 Civil Engineer  
 11111 17th Ave S  
 Suite 200  
 Golden, CO 80601  
 Phone: 303.722.1188  
 Fax: 303.722.1188  
 abonmarche.com  
 Engineering: 303.722.1188

**TABERNACLE CHURCH  
 PARKING EXPANSION**  
 77 HANCOCK STREET  
 MANISTEE, MI 49860

**GRADING AND DRAINAGE DETAILS**

DATE: 02-05-18  
 DRAWN BY: EG  
 DESIGNED BY: EG  
 PROJECT: DSK  
 QUANT REVIEW: DSK  
 DATE: 02-05-18  
 SCALE: 1" = 1'-0"  
 SHEET NO.: 18-0034  
 PROJECT NO.: 18-0034

**C2.1**

**STRUCTURE DATA TABLE**  
STORM SEWER SIZED FOR A 10 YEAR, 30 MIN STORM EVENT

Number	Structure		Structure C	Structure CA	Total Area (Ac.)	Cumulative C	Cumulative CA	Intensity (in/hr)	Q Req'd (cfs)	Length (feet)	Pipe Dia. (inches)	Slope (ft/100 ft)	Q Prov'd (cfs)	Velocity (ft/sec)	Upper I.E.	Lower I.E.	Cover Up	Cover Down	Structure Type	Outlet Str
	Rim	Area (Ac.)																		
10	621.44	0.28	0.95	0.27	0.28	0.95	0.27	2.63	0.7	57	10	0.50	1.7	3.1	618.45	618.16	2.10	1.56	Std. 30" Inlet	STR 11
11	620.62	0.37	0.95	0.35	0.65	0.95	0.62	2.63	1.6	56	10	0.50	1.7	3.1	618.16	617.88	1.56	1.43	Std. 30" Inlet	STR 12
12	620.21	0.23	0.95	0.22	0.88	0.95	0.84	2.63	2.2	112	12	0.45	2.6	3.3	617.75	617.25	1.35	4.17	Std. 30" Inlet	STR 13
13	622.52	0.10	0.95	0.10	0.98	0.95	0.93	2.63	2.4	55	12	0.45	2.6	3.3	617.25	617.00	4.17		Std. 48" Manhole	BASIN
14	-	-	-	-	-	-	-	-	1.5	3	15	0.50	5.0	4.0	617.00	616.99		0.64	End Section (Inlet)	STR 15
15	619.00	-	-	-	-	-	-	-	1.5	210	15	0.50	5.0	4.0	616.99	615.94	0.64	7.11	Std. 48" Manhole	STR 16
16	624.42	-	-	-	-	-	-	-	1.5	57	15	0.50	5.0	4.0	615.94	615.65	7.11	8.28	Std. 48" Manhole	STR 17
17	625.31	-	-	-	-	-	-	-	1.5	46	15	0.50	5.0	4.0	615.65	615.42	8.28		Std. 48" Manhole	EX. MH

Site Catchment Area

Hard Surface (C=0.95) = 0.97 acres  
 Open Space (C=0.20) = 0.43 acres  
 Total = 1.40 acres

Modified Runoff Coefficient Calculations

$(0.97 \text{ acres} \times 0.95) + (0.43 \text{ acres} \times 0.20) = 0.72$   
 1.4 acres

**STORAGE VOLUME CALCULATIONS**  
PROPOSED DETENTION BASIN

SITE CATCHMENT AREA (Acre) = 1.40  
 RUNOFF COEFFICIENT, C = 0.72  
 DESIGN RELEASE RATE = 1.49 cfs

STORM DURATION (hours)	100 YEAR INTENSITY (in/hr)	INFLOW RATE (cfs)	RELEASE RATE (cfs)	STORAGE RATE (cfs)	REQUIRED STORAGE (cft)
0.08	10.40	10.48	1.49	8.99	2720
0.17	7.61	7.67	1.49	6.18	3739
0.25	6.19	6.24	1.49	4.75	4310
1	4.46	4.50	1.49	3.01	5455
1	3.03	3.05	1.49	1.56	5678
2	1.92	1.94	1.49	0.45	3233
3	1.45	1.46	1.49		
6	0.86	0.87	1.49		
12	0.48	0.48	1.49		
24	0.27	0.27	1.49		

Note: Storm intensities are referenced from NOAA Precipitation Frequency Data

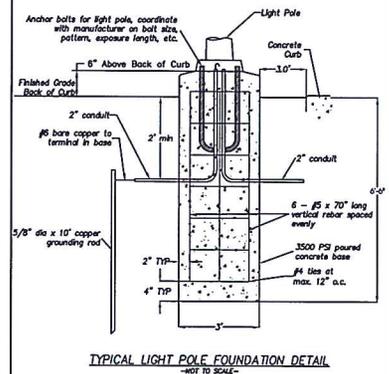
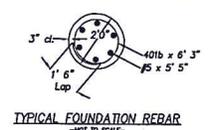
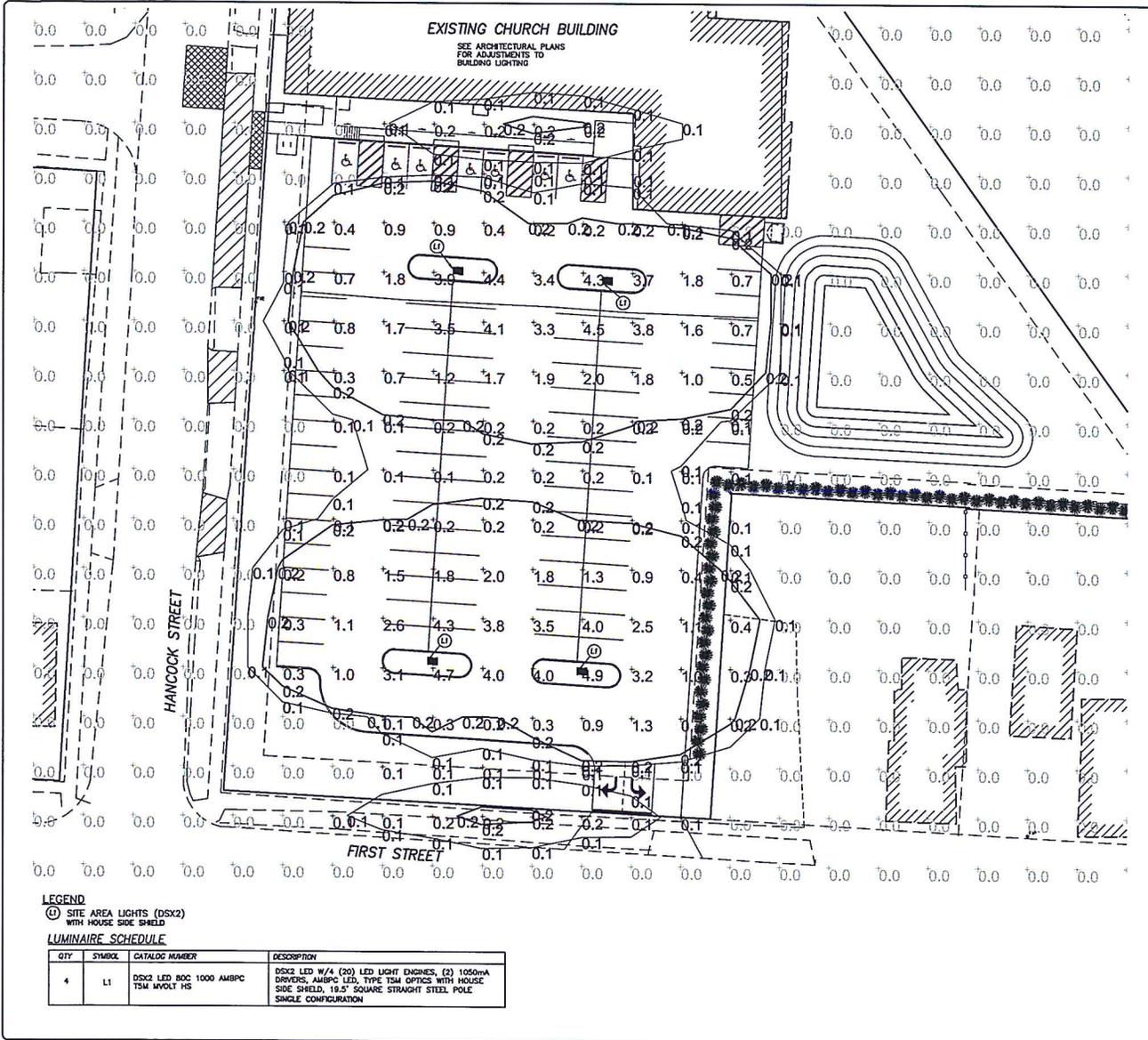
STORAGE REQUIRED: 5,678 cft  
 341 cft (6% siltation factor)  
 6,019 cft  
 STORAGE PROVIDED: 8,400 cft



**TABERNACLE CHURCH  
 PARKING EXPANSION**  
 77 HANCOCK STREET  
 MANISTEE, MI 49660

PROJECT: \_\_\_\_\_  
 SHEET: \_\_\_\_\_  
 DRAWN BY: EG  
 DESIGNED BY: EG  
 IN CHARGE: DSK  
 CHECKED BY: DSK  
 DATE: 02-05-18  
 SCALE: \_\_\_\_\_

STATE OF MICHIGAN  
 DEPT. OF REGISTRATION & PROFESSIONAL SERVICES  
 DATED: 02-05-2018  
 HORIZ: \_\_\_\_\_  
 VERT: \_\_\_\_\_  
 NO JOB # 18-0034  
 SERIAL: \_\_\_\_\_  
**C2.2**



- NOTES**
- LUMINAIRES SHALL BE WIRED USING #14 COPPER CABLE IN PLASTIC DUCT FROM SERVICE POINT TO BASE, AND 1/2" OR 3/4" STANDARD COPPER POLE CIRCUIT CABLE IN POLE, OR APPROVED OTHER.
  - ALL WIRING SHALL BE PLACED IN 2" PVC SOL-40 CONDUIT EXCEPT UNDER DRIVEWAYS OR STREET, WHERE IT WILL BE PLACED IN 2" PVC SOL-40 CONDUIT.
  - COVERS FOR LIGHTING HAND HOLES SHALL BEAR THE WORD "LIGHTING."
  - LUMINAIRE POLES SHALL BE FIELD VERIFIED AND APPROVED BY ENGINEER PRIOR TO ORDERING MATERIALS OR PLACING FOUNDATIONS.
  - LUMINAIRE POLES SHALL BE LOCATED 3' BEHIND BACK OF CURB, UNLESS OTHERWISE NOTED.
  - FOUNDATIONS SHALL BE LEVEL WITH ADJACENT FINISHED GRADE AND HEIGHT ABOVE BACK OF CURB FINISHED GRADE SHALL BE 6" UNLESS OTHERWISE NOTED.
  - LUMINAIRE POLE BASES SHALL BE BREAKAWAY BASE.
  - CONTRACTOR SHALL COORDINATE LOCATION AND ALIGNMENT OF 2" CONDUIT, HANDHOLES, TRANSFORMERS, AND SERVICE POINTS WITH ELECTRIC UTILITY COMPANY. ACTUAL LOCATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
  - FEATURE ORIENTATION SHALL BE PERPENDICULAR TO THE ADJACENT PAVEMENT UNLESS OTHERWISE NOTED ON PLANS. ORIENTATION OF POLES SHALL BE FIELD VERIFIED AND APPROVED BY ENGINEER PRIOR TO INSTALLATION.
  - COORDINATE WITH ARCHITECTURAL PLANS FOR ANY ADJUSTMENT TO BUILDING LIGHTING.
  - ALL LIGHT LEVEL MEASUREMENTS ARE IN FOOT CANDLES UNLESS OTHERWISE SPECIFIED.

**D-Series Size 2 LED Area Luminaire**

Specifications:  
 EPC: 2.5  
 Length: 40"  
 Width: 15"  
 Height: 7.5"  
 Weight: 24 lbs  
 (max)

GRAPHIC SCALE  
 1 IN. = 10 FT.  
 1/2 IN. = 5 FT.

**LEGEND**  
 (S) SITE AREA LIGHTS (DSX2) WITH HOUSE SIDE SHIELD

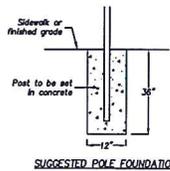
**LUMINAIRE SCHEDULE**

QTY	SYMBOL	CATALOG NUMBER	DESCRIPTION
4	L1	DSX2 LED ROC 1000 AMBPC TSM MVOLT HS	DSX2 LED W/4 (20) LED LIGHT ENGINES, (2) 1050mA DRIVERS, AMBPC LED, TYPE TSM OPTICS WITH HOUSE SIDE SHIELD, 19.5" SQUARE STRAIGHT STEEL POLE SINGLE CONFIGURATION

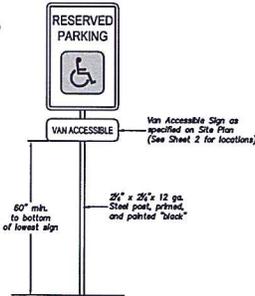


**SIGN NOTES**

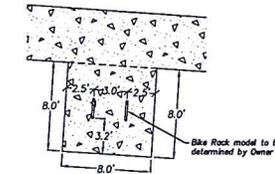
1. Sign Types shall be in accordance with the U.S. Department of Transportation Federal Highway MUTED Manual on Traffic Signs. See Sheet 2 for locations and additional information.
2. Signs shall be constructed from a permanent, reflectorized, rust free, sheet aluminum.
3. Each ADA parking space shall be identified with the international Symbol of Accessibility.



**SUGGESTED POLE FOUNDATION**



**SIGN DETAILS**  
(NOT TO SCALE)

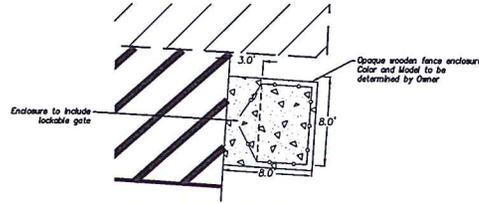


**BIKE RACK CONCRETE PAD**  
Scale: 1" = 5'

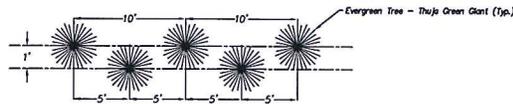


**AUTO PARKING PAVEMENT STRIPING**  
(NOT TO SCALE)

CONTRACTOR TO COORDINATE ALL STRIPING COLOR(S) WITH OWNER/DEVELOPER PRIOR TO INSTALLATION



**DUMPSTER ENCLOSURE CONCRETE PAD**  
Scale: 1" = 5'



**LANDSCAPE BUFFER SPACING**  
(Not to Scale)

**GENERAL NOTES**

1. Roadway, Drainage, and UTILITIES shall be constructed in accordance with the current City of Manistee Construction Standards.
2. Property is serviced by City of Manistee municipal sewer and water.
3. All utilities, such as natural gas, electric, telecommunications, and TV/Cable television, shall be underground.
4. Contractor shall request utility locates through MISS DIG 811 and contact all utility companies prior to construction to confirm locations of underground utilities. Any damages done to any public and/or private properties during construction shall be repaired at the Contractor's expense.
5. Any removed and/or disturbed pavement, curb and gutter, etc., shall be replaced using the same type of material and brought back to its original grade and alignment.
6. Unsuitable materials that could affect the integrity of the pipes and pavement shall be properly treated.
7. No closing of streets shall be permitted without prior approval from City of Manistee.
8. Contractor shall obtain the necessary project permits from all respective governmental agencies.
9. Contractor shall take all necessary precautions for the protection of the work and shall provide, erect, and maintain of necessary barricades, suitable and sufficient lights, danger signals, signs, and other traffic control devices.
10. Contractor shall provide Abonmarche Consultants one (1) set of **as-built** drawings upon completion of construction and at time of final inspection.
11. Contractor is responsible for meeting current ADA guidelines for all sidewalks and sidewalk curb ramps.
12. Contractor to protect and not destroy property corner monuments and survey control points.
13. Discrepancies or conflicts in the plans and/or site conditions shall be communicated to the Surveyor/Engineer to ensure that clarifications and/or revisions can be made prior to construction.

**EARTHWORK / GRADING NOTES**

1. Prior to any utility excavation and filling operations, all topsoil shall be removed from the proposed roadway grading limits, retention areas, and utility locations outside of the roadway grading limits, and stockpiled as shown on the Erosion Control Plan Sheets. A minimum of four (4) inches of topsoil shall be placed on all disturbed areas.
2. All areas receiving topsoil shall be fertilized, seeded and mulched to prevent erosion.
3. All soil and compaction testing shall be done by a qualified soil testing firm approved by the Owner/Developer.
4. All exposed subgrade shall be proof-rolled and witnessed by a Geotechnical Engineer to determine unsuitable soil locations prior to any curbing and paving operations. Any unsuitable soil shall be excavated, backfilled, and compacted with suitable material in accordance with the plan and capable of supporting the anticipated loadings of the project.
5. The minimum soil composition requirements, using Modified Proctor, for trench pipe backfill, site filling material, and pavement subgrade shall be as follows:
  - Subgrade under roads, pavements, curbs, and structures = 95%
  - Subgrade under sidewalks = 95%
  - Topsoil used in all but the top four inches (4") of fills in area specified = 95%
  - Existing ground receiving fills = 95%
  - Backfill in pipe/conduit trenches under roads, pavements, and curbs = 95%
  - Backfill in pipe and conduit trenches not under pavement or curbs = 95%
  - All other areas receiving fill = 95%
  - Compacted Aggregate Base shall be 100%
6. Positive drainage shall be maintained to prevent any ponding of water or encroachment onto adjacent properties.
7. Inlet protection is required around each storm sewer inlet during construction, see Erosion Control Plan on Sheets 6-10.

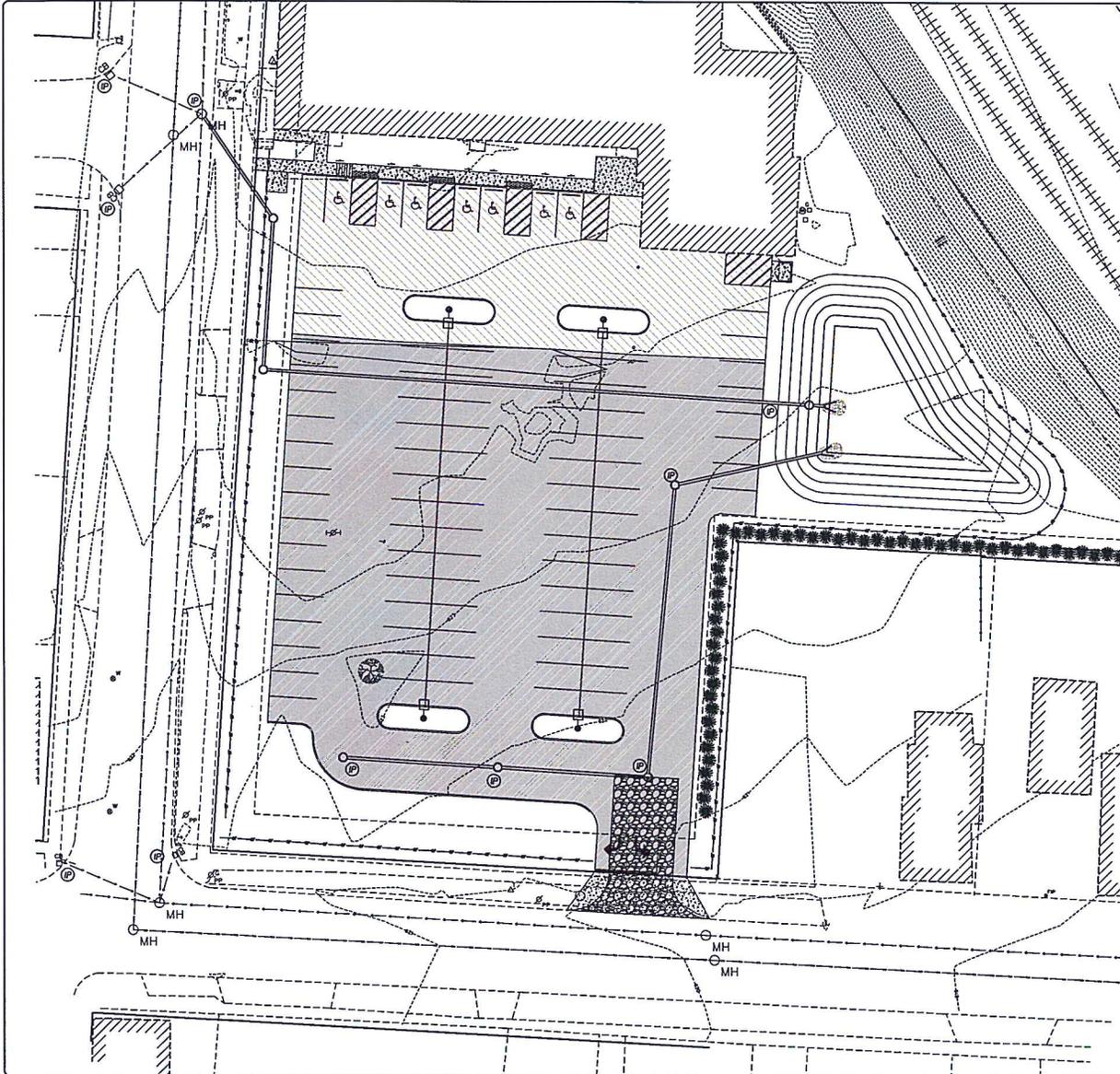
**ABONMARCHÉ**  
 341 Third Street  
 Manistee, MI 49860  
 Phone: 231.727.1118  
 Fax: 231.727.1118  
 abonmarche.com  
 Michigan Professional Engineer  
 License No. 630104343

**TABERNACLE CHURCH  
 PARKING EXPANSION**  
 PROJECT  
 77 HANCOCK STREET  
 MANISTEE, MI 49860

**CONSTRUCTION DETAILS**

DATE: 07-05-18  
 SCALE: 18-0034  
 DRAWN BY: EG  
 CHECKED BY: EG  
 PAPER NO: DK  
 QUOTE REVIEW: DK  
 DATE: 02-05-2018  
 SCALE: HORZ: VERT:  
 NO. ON \* 18-0034  
 SHEET NO.

STATE OF MICHIGAN  
 DANIEL S. DUFF  
 ENGINEER  
 No. 630104343  
 PROFESSIONAL ENGINEER

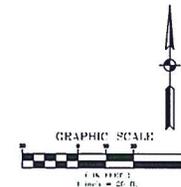


**GENERAL NOTES**

1. All erosion control measures shall be implemented in accordance with this plan and shall comply with the City of Manistee Erosion Control Requirements.
2. A temporary construction entrance shall be installed and maintained to minimize the amount of soil tracked onto public/private roadways. A tentative location is shown on the plan. The Contractor shall submit actual location(s) to the Owner for approval. Entrance(s) shall be installed prior to any other construction activity.
3. Storm sewer inlets within the construction limits and existing inlets nearby that may be impacted by construction shall be protected as specified on the plan or an approved equal. The intent of this measure is to prevent sediment from entering any drainage system.
4. Until the project is accepted by the Owner, the Contractor shall maintain all erosion control measures to prevent sediment from entering public and private storm sewers and from leaving the project site. Contractor shall implement and maintain any additional measures at the request of the Local and/or State Stormwater and Erosion Control Inspectors at no additional cost.
5. SILT FENCE - The location of all fences shown on the drawing shall act as a guide for the Contractor to follow. Actual field conditions shall dictate the location and amount of all fences required to prevent sediment from entering public and private storm sewers and from leaving the project site. Silt fences shall be installed at the site perimeter if the site is higher than the neighboring property. If the project site is lower, all fence is fully not needed and instead field conditions shall dictate. Silt fence or other appropriate sediment barriers shall be installed a minimum of 10' away from the toe of slope of any mounds or offsite stockpiles, borrow, and/or disposal areas. See "Silt Fence Detail" on Sheet 8.
6. Locations for temporary construction staging, concrete washout, and dewatering operations (if required) shall be determined by the Contractor and Owner prior to construction.
7. All areas disturbed by construction shall be stabilized with seeding stabilization measures. Temporary Seeding shall take place as soon as possible on any bare or 0-10% vegetated areas which have less than 70 percent cover and will remain inactive for a period of 15 days or more.
8. Storm water pipe outlets shall be surrounded and stabilized with the appropriate design amount of heavy riprap materials to prevent future erosion. (See "Pipe End Section Treatment Detail" on Sheet C5.1)

**LEGEND**

- ⊙ Inlet Protection (See Sheet C5.2)
- SF — Silt Fence (See Sheet C5.1)
-  Temporary Construction Entrance (See Sheet C5.1)



**TABERNAACLE CHURCH  
PARKING EXPANSION**  
77 HANCOCK STREET  
MANISTEE, MI 49660

**EROSION CONTROL PLAN**

SHEET NO.	C5.0
DRAWN BY:	KG
DESIGNED BY:	KG
PAPER NO.:	DSK
GRAPHIC REVIEW:	DSK
DATE:	02-05-18
SCALE:	
STATE OF MICHIGAN SEAL DAVE L. BOND REGISTERED PROFESSIONAL ENGINEER No. 081044343	
SIGNATURE:	
DATE:	02-05-2018
SCALE:	
HORZ:	C5.0
VERT:	
PROJECT NO.:	18-0034
DATE:	

**C5.0**





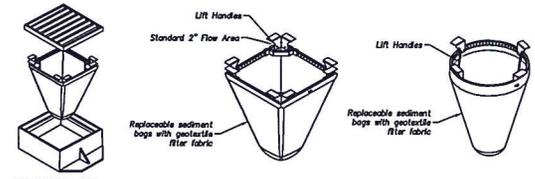
**INLET PROTECTION PRIOR TO CURB/PAVING DETAIL**  
SILT FABRIC CURB SEDIMENT BARRIER  
(NOT TO SCALE)

**INSTALLATION NOTES**

1. Dig trench around perimeter of inlet.
2. Drive posts into soil and stretch geotextile fabric tightly between each post.
3. Place bottom 12" of geotextile fabric into trench.
4. Backfill with soil material and compact. Brace as necessary.
5. The frame shall be wrapped with one continuous piece of geotextile fabric and a 2' overlap shall be provided.

**MAINTENANCE NOTES**

1. Inspection should occur at least once a week and following each  $\frac{1}{2}$ " or more rain event.
2. If fence fabric tears, starts to decompose, or in anyway becomes ineffective, replace the affected portion immediately.
3. Remove deposited sediment to provide storage for next storm event.
4. When the contributing drainage area has been stabilized, remove the geotextile box and sediment deposits, find grade area, and stabilize immediately.



**INSTALLATION DETAIL**      **TYPICAL RECTANGULAR INLET FILTER**      **TYPICAL ROUND INLET FILTER**

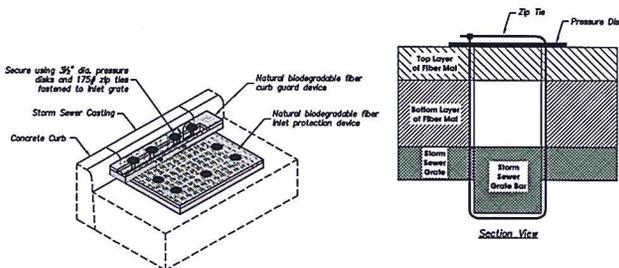
**INLET PROTECTION AFTER CURB/PAVING DETAIL**  
FRAME AND SEDIMENT BAG INSERT  
(NOT TO SCALE)

**INSTALLATION NOTES**

1. Prior to installation, Contractor shall submit brand and model information to Owner for approval prior to installation. Install per manufacturer recommendations.
2. Remove grate and clean ledge of the casting or drainage structure.
3. Drop frame and sediment bag insert onto load bearing lip of casting or concrete structure.
4. Re-install grate and confirm it is elevated no more than thickness of insert hangers.

**MAINTENANCE NOTES**

1. Inspection should occur at least once a week and following each  $\frac{1}{2}$ " or more rain event.
2. Empty the sediment bag if more than half filled with sediment and debris.
3. Remove the grate, engage the lifting bars or handles and lift from the drainage structure, and dispose of any sediment or debris in accordance with EPA Guidelines.
4. Remove any caked on silt from the sediment bag and reverse flush the bag with medium spray for optimal filtration.
5. Replace the bag if torn or punctured to  $\frac{1}{2}$ " diameter or greater on the lower half of the bag.
6. When the contributing drainage area within 50 feet upstream of the inlet has been stabilized, remove insert (booster) and properly dispose of sediment deposits.



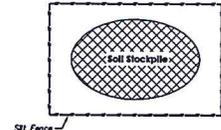
**INLET PROTECTION**  
FIBER MAT  
(NOT TO SCALE)

**INSTALLATION NOTES**

1. Install fiber mat per manufacturer recommendations.
2. Lay fiber mat firmly in place to cover both the inlet grate and overflow area, cut to extend 1" minimum to 3" maximum from edge of grate.
3. Install pressure disc anchors per manufacturer at recommended anchor locations and use zip ties to fasten to grate.

**MAINTENANCE NOTES**

1. Inspection should occur at least once a week and following each  $\frac{1}{2}$ " or more rain event.
2. Broom collected material off filter unit surfaces and away from edges.
3. Remove sediment and debris collected around filter units and dispose of legally off site.
4. Replace filter unit if it becomes too clogged with sediment to perform properly.



**SOIL STOCKPILE DETAIL**  
(NOT TO SCALE)

**NOTE:**  
If straw bales are utilized instead of silt fences, the bales shall be placed a minimum of 10 feet from the toe of slope. Each bale shall be anchored a minimum of 4 inches into subsoil and shall be anchored with (2) 3/8-inch long steel rebar or 2x2 inch wood stakes driven through the bale. The minimum bale size shall be 14'x18'x16".

**ABONMARCHÉ**  
Civil Engineering  
24174 Paul Road  
Livonia, MI 48150  
734.753.1188  
abonmarche.com  
© 2018 Abonmarche, Inc. All Rights Reserved

**TABERNACLE CHURCH**  
**PARKING EXPANSION**  
77 HANCOCK STREET  
MANISTEE, MI 49860

**EROSION CONTROL PLAN**

DATE: 02-05-18  
DRAWN BY: EG  
DESIGNED BY: EG  
PA PERMIT: DSK  
CHECK REVIEW: DSK  
DATE: 02-05-2018  
SCALE: 18-0034

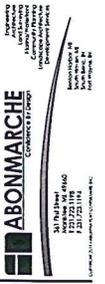
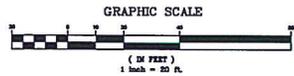
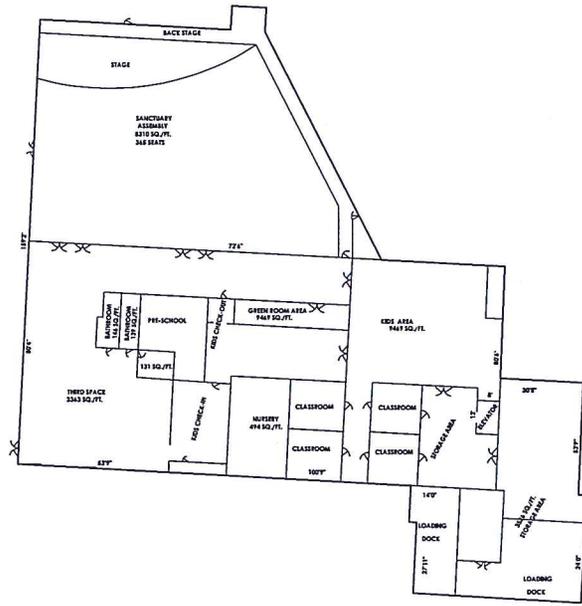
DATE: 02-05-2018  
SCALE: 18-0034

**C5.2**





PHASE 2 FIRST FLOOR PLAN



**THE TABERNACLE**  
**P.O. BOX 147**  
**BUCKLEY, MI. 49628**

**EXISTING CONDITIONS SITE PLAN**  
**77 HANCOCK STREET**  
**MANISTEE, MI. 49660**

DESIGNED BY: CES  
 DRAWN BY: CES  
 CHECKED BY: CES  
 DATE: 1/8/18

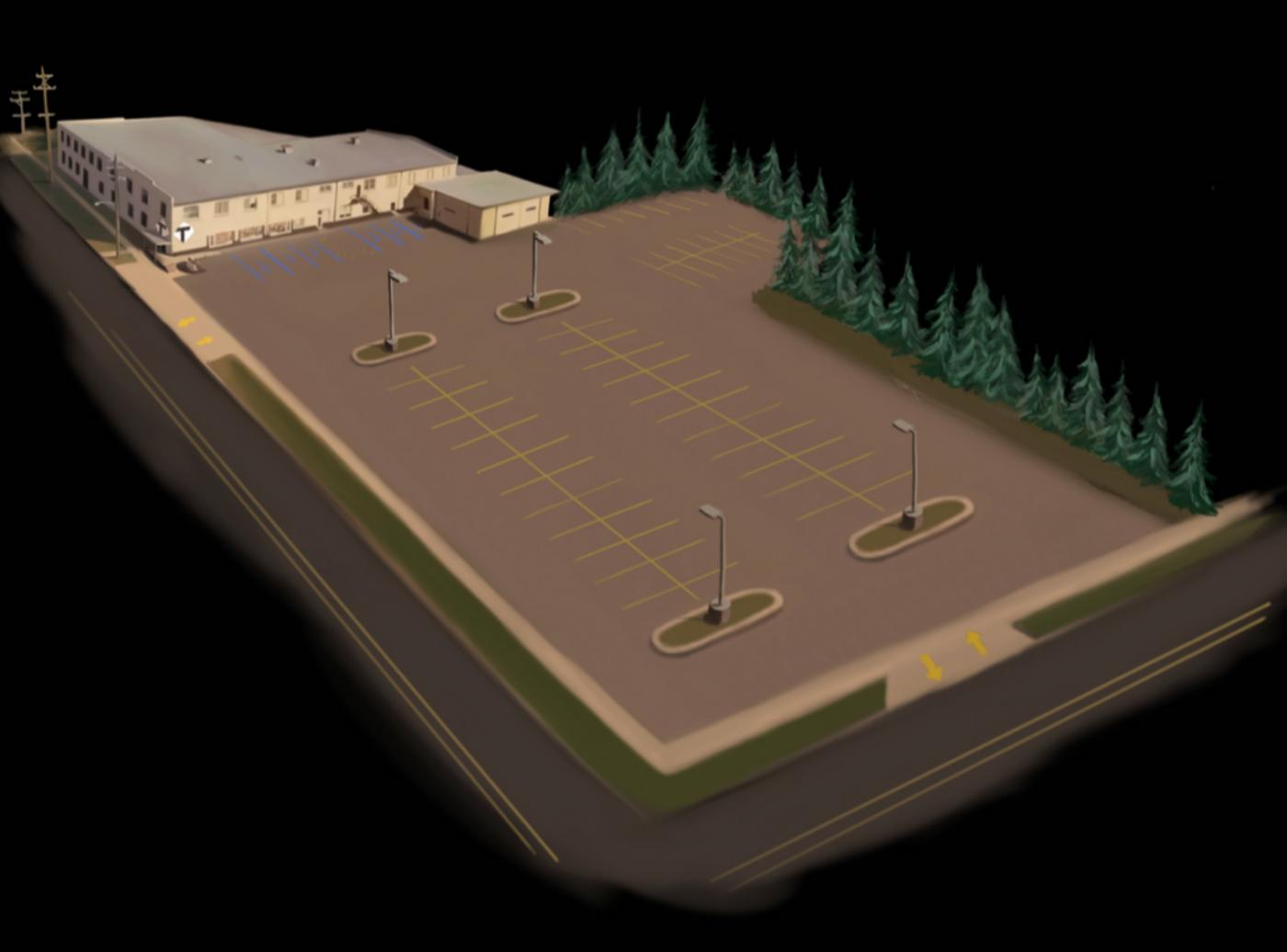
SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

SCALE:  
 HORIZ: 1"=20'  
 VERT: NONE

PROJECT NO: 18-0034

SHEET NO: A2.0

NO. REVISION DESCRIPTION: \_\_\_\_\_ BY: \_\_\_\_\_ DATE: \_\_\_\_\_



# Interior Renderings 77 Hancock Street

